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The Uttar Pradesh Apartment (Promotion of Construction, Ownership and Maintenance) Rules, 2011

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For Skytech Construction Pvt. Ltd.

SATISH MALICK
Auth. Signatory

UTTAR PRADESH SHASHAN
AWAS EVAM SAHARI NIYOJAN ANUBHAG-

In pursuance of the provisions of clause (3) of article 348 of the Constitution of India, the Governor is pleased to order the publication of the following English translation of Notification no. 3975/8-1-11- 115D.A./02T.C.-I dated 16 November, 2011

NOTIFICATION

No. 3975/8-1-11-115D.A./02T.C.-I

Lucknow: Dated 16 November, 2011

In exercise of the powers conferred by section 30 of the Uttar Pradesh Apartment (Promotion of Construction, Ownership and Maintenance) Act, 2010, the Governor of Uttar Pradesh hereby makes the following rules, namely:-

The Uttar Pradesh Apartment (Promotion of Construction,
Ownership and Maintenance) Rules, 2011

- | | | |
|---|--------|---|
| Short Title and | 1) | These rules may be called The Uttar Pradesh commencement Apartment (Promotion of Construction, Ownership and Maintenance) Rules, 2011. |
| | (2) | They shall come into force with effect from the date of their publication in the Gazette. |
| Definit
ons | 2. (1) | In these rules, unless the context otherwise requires,- |
| | (a) | "Act" means the Uttar Pradesh Apartment (Promotion of Construction, Ownership and Maintenance) Act, 2010. |
| | (b) | "Form" means a Form appended to these rules; |
| | (c) | "Competent Authority" means the Vice-Chairman of the Development Authority in whose development area the building is situated or the Collector of the district where no such Development Authority exists. |
| | (d) | "Section" means a section of the Act. |
| | (2) | Words and expressions used in these rules but not defined shall have the meanings respectively assigned to them in the Act. |
| Form of Declaration
(sub section-1 of
section 12) | 3. | The declaration shall be submitted by a promoter under sub-section (1) of section 12 in Form 'A' which shall be submitted by the promoter within a period of 12 months from the date of approval of the plans. Where the building has been constructed or is under construction prior to the commencement of these rules, the declaration shall be submitted within 90 days from the date of such commencement. |

Amendment of Declaration

(sub section-2 of section 12) 4. (1)

The declaration submitted by a promoter under rule 3 may be amended at any time, by the promoter, If, -

- (a) The declaration suffers from any clerical or arithmetical mistake or error arising therein from any accidental slip or omission; or
 - (b) The amendment is necessitated by reason of any revision in the sanctioned plan of the building; or
 - (c) The proposed amendment is just and reasonable; Provided that the amendment made by the promoter shall not violate the building bye-laws, sanctioned building plan or the contractual obligation of the promoter.
- (2) For making amendment in the declaration referred to in sub-rule (1) the promoter shall move a written application to the Competent Authority with such fees as may be determined by the Competent Authority, specifying therein the circumstances and reasons for amending it and such application shall be supported by an affidavit of the promoter or of a person authorized on his behalf along with the necessary documents.
- (3) The Competent Authority, on receipt of the application under sub-rule (2) shall issue a written notice to the association of the apartment owners of the building and shall also cause the publication of a public notice in two daily newspapers circulating in that locality.
- (4) On receipt of the objections, if any, received within 30 days from the date of publication of notice under sub-rules (3) the Competent Authority shall, after giving an opportunity of being heard to the objector, association of apartment owners and promoter, pass such order thereon as it deems fit as expeditiously as possible.
- (5) A true copy of the order passed under sub-rule (4) shall be sent by the Competent Authority to the promoter, association of the apartment owners or to the objector as the case may be.

For Skytech Construction Pvt. Ltd.

SATISHMAJI

Auth. Signatory

Grant of permission for prosecution
(sub section-4 of section 25)

5. (1) After majority decision by the Board, the president or the person authorized on its behalf may apply the Competent Authority for grant of the permission to file its written complaint under the provisions of subsection (4) of section 25;

Provided that every such application shall be accompanied by a true attested copy of the decision of the Board;

Provided further that such application shall clearly specify the nature and extent of the violation of the provisions of the Act or the Bye-laws, as the case may be;

Provided also that such application shall also specify the steps taken and efforts made by the Board to ensure that the violation is set right by the concerned owner of the apartment or the promoter, as the case may be, along with necessary documents of the efforts made by the Board.

- (2) The Competent Authority, on receipt of the Application, shall give notice to the erring apartment owner or the promoter, as the case may be and shall pass such order as he may deem fit:

Provided that no such order shall be passed by the Competent Authority unless the Competent Authority records his satisfaction in writing as to the violation of the provisions of the Act or the bye-laws after affording adequate opportunity of being heard to all concerned.

Undertaking to be filed by the person
acquiring apartment. (section 10)

- (6) Any person acquiring any apartment from any apartment owner by gift, exchange, purchase or otherwise, or taking lease of an apartment from an apartment owner under section 10 and shall execute an undertaking in Form 'B' to comply with the covenants, conditions and restrictions, subject to which such apartment is owned by the said apartment owner. Such undertaking shall be executed and registered within a period of 30 days from the date of acquiring the apartment.

For Skytech Construction Pvt. Ltd.

SATISHMALICK

Auth. Signatory

FORM A
(See Rule 3)
FORM OF DECLARATION

Date: 20/10/2014

Place: GHAZIABAD

Promoter Details:

1. Name of Builder M/s Skytech Constructions Pvt. Ltd.
Registered Address:- 385, Kohet enclave Pritam Pura , Delhi-110088
2. Date of Incorporation (if applicable): 28/9/2004
3. Name/designation of Authorized Signatory: - Mr Satish Malick (Sr. Manager)

The Declaring hereby solemnly states the following:

FIRST: The Promoter owns /holds the land as lessee which is fully described and detailed in Annexure 'A' to this declaration.

SECOND: The Promoter has constructed on the parcel of land, described in Annexure 'A' to this declare.

S.No.	Description	Particulars
1.	Name of the building /Group Housing Scheme	"SKYTECH MERION-2"
2.	Sanctioning Authority of the plan	Ghaziabad Development Authority
3.	Date of sanction	----- ----- -----
4.	Municipal No. of the property	Plot No.-06, Crossing Republic, Vill.- Dundhahera, Ghaziabad U.P)
5.	Municipal Ward of the property	N/A
6.	Postal address of the property	"SKYTECH MERION-2 " Plot No.-06, Crossing Republic, Vill- Dundhahera, Ghaziabad U.P)
7.	Name of Architect / Structural Engineer	AR. ANUJ AGARWAL / Sh. V.D.SHARMA
8.	Height of the building	Below 50 Mt.
9.	Scheme whether residential or commercial (other than multiplex or mall)	Residential Group Housing
10.	No. of Floors	B + S +15

THIRD: That the said property consists of the apartments detailed in Annexure 'B' to this declaration. The various apartments of the scheme are capable of individual utilization on account of having their own exit to common areas and facilities of the building/property scheme and the apartment will be sold to one or more persons, each person obtaining a particular and exclusive property rights thereto and each apartment constituting a heritable and transferable immovable property within the meaning of any law for the time being in force in the State (hereinafter referred to as the 'Apartment') and also an undivided interest in the general and/or 'limited common areas and facilities' of the building/property scheme, as listed in this declaration deed, necessary for their adequate use and enjoyment, and referred to as:-

- (a) Common facilities for dwelling units of individual block
- (b) Limited common facilities for apartments, means those common areas and facilities which have been designated in writing by the promoter as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

FOURTH: That the aforesaid building has a total floor area of 17656.645 square meters on all floors, of which 10121.895 square meters will constitute the apartments and 1525.36 square meters will constitute the 'common areas and facilities' 2204.10 square meters constitute 'limited common areas and facilities', remaining 3805.29 sq.mt. will constitute the independent area as details in Annexure -F & all of which have been detailed in Annexure 'C' hereto.

FIFTH: That this condominium shall be known as "**SKYTECH MERION-2 GROUP HOUSING**" (insert the name of the building / scheme as given above) and that the apartments and 'common areas and facilities' (as defined in 5. 3(i) of the Act), the 'limited common areas and facilities' of the building / scheme (as defined in 5. 3(s) of the Act), and the 'independent areas' (as defined in 5. 3(p) of the Act), and shall be as follows -

S.No.	Item	Detail
1.	"Common areas & facilities" [as defined in s. 3(i) of the act]	As per Annexure 'D'
2.	"Limited common areas & facilities" [as defined in S. 3 (s) of the Act]	As per Annexure 'E'
3.	"Independent areas" [as defined in S. 3(p) of the Act]	As per Annexure 'F'

SIXTH: (a) that the right, title and interest of each apartment owner and his proportionate share in the profits and common expenses for the common areas and facilities, as well as the proportionate representation for voting purpose in the meeting of the Association of Apartment Owners of the "**SKYTECH MERION-2 GROUP HOUSING**" Condominium is based on the proportionate value of each apartment to the total value of all apartments

SEVENTH: That the Administration of "**SKYTECH MERION-2 GROUP HOUSING**" Condominium consisting as aforesaid of the building and parcel of land described above shall be in accordance with the provisions of this Deed and with the provisions of the bye-laws of the association of the apartment owners. The promoter shall be responsible for full quality control

SATISHMALICK

of materials and workmanship at site. The specifications of construction detailed in 'Schedule-A' hereto.

EIGHTH: That for the purpose of stamp duty and registration fees payable on the deed of apartments under S. 13 of the Act, the value of the

- (a) Land of each apartment would be computed on the basis of the percentage of the undivided share so that the aggregate of the land component of all of the apartments of the building is equivalent to the total value of the land of the building;
- (b) The construction of each apartment would be also computed on the basis of the percentage of the undivided share as it bears to the total covered area.

NINTH: that the 'common areas and facilities' as well as the 'limited common areas and facilities' shall remain undivided and no apartment owner shall bring any action for their partition or division thereof.

TENTH: that the percentage of the undivided interest in the "common areas and facilities" as well as the "limited common areas and facilities" established herein shall not be changed except with the unanimous consent of all the apartment owners and approval of Competent Authority expressed in amendment to this deed.

ELEVENTH: that the undivided interest in the 'common areas and facilities' as well as the 'limited common areas and facilities' shall not be separated from the apartment to which they pertain and shall be deemed conveyed or encumbered with the unit even though such interest is not expressly mentioned or described in the conveyance or other instrument;

TWELTH: that neither the dedication of the property to the plan of apartment ownership herein shall not be revoked, nor the property removed from plan of apartment ownership, or any of the provisions herein amended unless all the apartment owners and the mortgagees of all the mortgages covering the units unanimously agree to such revocation, or amendment or removal of the property from the plan by only registered instruments;

THIRTEENTH: that if the property, subject to the plan of Apartment Ownership is totally or substantially damaged or destroyed, the repair, reconstruction, or disposition of the property shall be as provided by the Act;

FOURTEENTH: that where an apartment is sold pursuant to the recovery of the mortgage money, then neither the mortgagee nor the purchaser who derives title to be apartment at such sale or his successors or assigns shall be liable for assessments by the association which became due prior to the acquisition of the title by such acquirer but the association of apartment owners would be entitled to recover the amount subsequent to the date of acquisition of title by such acquirer.

FIFTEENTH: that the 'independent areas', declared herein in the Annexure 'F' are not included as common areas for the joint use of the apartment and the promoter would be at liberty to sell them or to construct thereupon without interference of other apartment owners in view of the provisions of S. 3(p) of the Act.

For Skytech Construction Pvt. Ltd.

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SATISHMALICK

Auth. Signatory

SIXTEENTH: The promoter shall maintain the common areas and facilities till the association is formed and shall be entitled to collect the maintenance charges @1.75Rs/Sft. Per month from the owners of each apartment.

4. IN WITNESS WHEREOF, Mr Satish Malick (Sr. Manager) for on and behalf of M/s Skytech Constructions Pvt. Ltd.

5. The promoter) hereto set his hand this 20 day of 10 of year 2014

For SKYTECH CONSTRUCTION PVT. LTD.

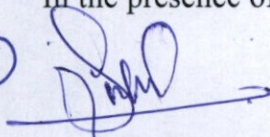
SATISHMALICK

Authorised Signatory

Signed and delivered by

In the presence of:-

①



Sulabh Khandelwal
C-60, Sec-63, Noida

②



B.K. Das
C-60, Sec 63, Noida

Annexure-'A'

Details of the land of the building to which the present declaration relates

S.No.	Item		
1.	Location of the land of the building	Revenue village	Dundahera
		Tehsil	Ghaziabad
		District	Ghaziabad
2.	Survey No. with area		Plot No.-6- 2850.76 SQ.MT.
3.	Date of last document of title under which the promoter claims the land		
4.	Details of Registration of the above title document	Book No. I	1
		Vol. No.	7793
		Page Nos.	307 - 486
		Sl. No.	750
		Date of Regn. –	2/3/2009
5.	Boundaries of the land	East	Other property
		West	Other property
		North	Road
		South	Other property
6.	Land whether freehold or leasehold		Freehold
7.	If land is leasehold, the Unexpired period of the lease		N/A

Place:- 936

Date:- 20/10/14

For SKYTECH CONSTRUCTION PVT. LTD.

SATISHMALICK

Authorised Signatory

Signature of declarant
with designation and seal

Annexure-'B' (Details of Apartments)

Name of condominium:- **Skytech Merion Residency Phase - 2**

of condominium :- **BLOCK - A (BASEMENT +GROUND+15 FLOOR)**

Sl.No.	Floor	Identifiable No. of the Apartment	No. of Rooms	Covered area (in sq. mtrs.) (EACH FLAT)	Percentage of undivided share in land on the basis of covered area of the apartment (Approx)	Proportionate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential Commercial	Value of the Apartment
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	
FIRST FLOOR TYPE-A	A-101	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed	
FIRST FLOOR TYPE-B	B-102	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed	
FIRST FLOOR TYPE-C	C-103	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed	
FIRST FLOOR TYPE-D	D-104	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed	
FIRST FLOOR TYPE-E	E-105	3 BED+ SERVIENT	As per sale deed	0.93%	-	Residential	As per sale deed	
FIRST FLOOR TYPE-F	F-106	4 BED+ SERVIENT	As per sale deed	0.96%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-A	A-201	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-B	B-202	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-C	C-203	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-D	D-204	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-E	E-205	3 BED+ SERVIENT	As per sale deed	0.93%	-	Residential	As per sale deed	
SECOND FLOOR TYPE-F	F-206	4 BED+ SERVIENT	As per sale deed	0.96%	-	Residential	As per sale deed	

THIRD FLOOR TYPE-A	A-301	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
THIRD FLOOR TYPE-B	B-302	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
THIRD FLOOR TYPE-C	C-303	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
THIRD FLOOR TYPE-D	D-304	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
THIRD FLOOR TYPE-E	E-305	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
THIRD FLOOR TYPE-F	F-306	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-A	A-401	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-B	B-402	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-C	C-403	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-D	D-404	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-E	E-405	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
FOURTH FLOOR TYPE-F	F-406	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-A	A-501	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-B	B-502	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-C	C-503	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-D	D-504	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-E	E-505	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
FIFTH FLOOR TYPE-F	F-506	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed

For Skytech Construction Pvt. Ltd.

SATISH MALHOTRA

SIXTH FLOOR TYPE-A	A-601	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
SIXTH FLOOR TYPE-B	B-602	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
SIXTH FLOOR TYPE-C	C-603	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
SIXTH FLOOR TYPE-D	D-604	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
SIXTH FLOOR TYPE-E	E-605	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
SIXTH FLOOR TYPE-F	F-606	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-A	A-701	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-B	B-702	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-C	C-703	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-D	D-704	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-E	E-705	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
SEVENTH FLOOR TYPE-F	F-706	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
EIGHT FLOOR TYPE-A	A-801	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
EIGHT FLOOR TYPE-B	B-802	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
EIGHT FLOOR TYPE-C	C-803	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
EIGHT FLOOR TYPE-D	D-804	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
FIRST FLOOR TYPE-E	E-805	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
EIGHT FLOOR TYPE-F	F-806	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed

NINTH FLOOR TYPE-A	A-901	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
NINTH FLOOR TYPE-B	B-902	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
NINTH FLOOR TYPE-C	C-903	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
NINTH FLOOR TYPE-D	D-904	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
NINTH FLOOR TYPE-E	E-905	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
NINTH FLOOR TYPE-F	F-906	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
TENTH FLOOR TYPE-A	A-1001	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
TENTH FLOOR TYPE-B	B-1002	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
TENTH FLOOR TYPE-C	C-1003	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
TENTH FLOOR TYPE-D	D-1004	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
TENTH FLOOR TYPE-E	E-1005	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
TENTH FLOOR TYPE-F	F-1006	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-A	A-1101	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-B	B-1102	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-C	C-1103	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-D	D-1104	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-E	E-1105	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
ELEVENTH FLOOR TYPE-F	F-1106	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed

For Skytech Construction Pvt. Ltd.

SATISH MALHOTRA

Auth. Signatory

TWELTH FLOOR TYPE-A	A-1201	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
TWELTH FLOOR TYPE-B	B-1202	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
TWELTH FLOOR TYPE-C	C-1203	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
TWELTH FLOOR TYPE-D	D-1204	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
TWELTH FLOOR TYPE-E	E-1205	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
TWELTH FLOOR TYPE-F	F-1206	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-A	A-1301	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-B	B-1302	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-C	C-1303	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-D	D-1304	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-E	E-1305	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
THIRTEENTH FLOOR TYPE-F	F-1306	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-A	A-1401	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-B	B-1402	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-C	C-1403	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-D	D-1404	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-E	E-1405	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
FOURTEENTH FLOOR TYPE-F	F-1406	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed

For Skytech Construction Pvt. Ltd.

SATISH MALIK

Auth. Signatory

FIFTEENTH FLOOR TYPE-A	A-1501	2 BED+ STUDY	As per sale deed	1.15%	-	Residential	As per sale deed
FIFTEENTH FLOOR TYPE-B	B-1502	3 BED+ 2 TOILET	As per sale deed	1.12%	-	Residential	As per sale deed
FIFTEENTH FLOOR TYPE-C	C-1503	3 BED+ 3 TOILET	As per sale deed	1.35%	-	Residential	As per sale deed
FIFTEENTH FLOOR TYPE-D	D-1504	3 BED+ STUDY	As per sale deed	1.12%	-	Residential	As per sale deed
FIFTEENTH FLOOR TYPE-E	E-1505	3 BED+ SERVENT	As per sale deed	0.93%	-	Residential	As per sale deed
FIFTEENTH FLOOR TYPE-F	F-1506	4 BED+ SERVENT	As per sale deed	0.96%	-	Residential	As per sale deed

For Skytech Construction Pvt. Ltd.

SATISHMALLU
Auth. Signatory

Annexure-'C'11

Details of covered area of apartments and total covered area of common areas and facilities /limited common areas and facilities

S. No.	Particulars	(3)	(4)	(5)	(6)
1	(2)	(3)	(4)	(5)	(6)
(a)	Total covered area of apartments at various floors	10121.895 sq.mt.	X	X	X
(b-1)	Total covered area of common areas & facilities (as defined in S. 3(i) of the Act)	X	1525.36 sq.mt.	X	X
(b-2)	Total covered area of limited common areas & facilities (as defined in S. 3(s) of the Act)	X	X	2204.10 sq.mt.	X
(c)	Total area of the building [Total of (a), (b-i) & (b-2)]	X	X	X	13851.355 sq.mt.
	Sum up	i.e. (a)	i.e. (b-i)	i.e. (b-2)	i.e. (c)

For SKYTECH CONSTRUCTION PVT. LTD.

SATISHMAJEE

Authorised Signatory

Signature of declarant with designation and seal

Place: G3b

Annexure 'D'
Details of the common area and facilities of the building
to which the present declaration relates

Sl. No.	Name of the common areas & facilities	Its description /area (SQMTR)
a.	The parcel of land described in paragraph First of this Deed.	
b.	Basement (if any) (as shown in Exhibit 'A' attached hereto)	2275.00 m ²
c.	Facilities in the basement	Ramp, lift, parking, staircase
d.	Parking facilities (as shown in Exhibit 'A' attached hereto)	N/A
e.	Facilities on the ground floor (as shown in Exhibit 'A' attached hereto)	
	(i) Green Area (Landscape) Playing Area	275.88 m ²
	(ii) WATER BODY	N/A
	(iii) Tennis Court	N/A
	(iv) Badminton Court	N/A
	(v) Convenient Shops	N/A
	(vi) Lobby & facilities	N/A
	(vii) PARTY LAWN	N/A
f.	(i) Common areas & Facilities located throughout the building (as shown in Exhibit 'A')	1525.36 m ²
	(ii) Elevator	2 No
	(iii) Area of shaft(s)	522.60
	(iv) Elevator shaft extends from ground floor upto	Terrace
	(v) No. of stairway 'A', which lead from the ground floor to the roof of the building	2 No
	(vi) No. of stairway 'B' (if any), which lead from The open court to the upper floors.	N/A
	(vii) A flue (if applicable), extending from the incinerator in the basement to the roof of the building, which has a hopper door in each one the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the upper floors.	N/A
	(viii) No. of Water tank(s)	1 no.
	(ix) Elevator pent-house with corresponding elevator equipment located on the roof of the building.	N/A
	(x) Plumbing network throughout the building	Through shaft

(xi)	Electric wiring net-work throughout the building	Through shaft ramp along the corridor to flat
(xii)	Necessary light(s)	Corridor staircase main gate boundary wall.
(xiii)	Telephone(s)	Through shaft
(xiv)	Public water connection(s)	Applicable
(xv)	Foundations and main walls, columns, girders, beams and roofs of the building	RCC raft foundation main wall brick work column & beams RCC
(xvi)	Tank (s)	Domestic over head & under ground water tank
(xvii)	Pump (s)	Domestic & summers able pump
(xviii)	Motor (s)	AS PER NBC
(xix)	Fans	AS PER NBC
(xx)	Fire fighting equipment (s)	Installed as per fire norms
(xxi)	Compressor (s)	AS PER NBC
(xxii)	Duct (s)	For ventilation
(xxiii)	Central Air Conditioning Equipment (s)	N/A
(xxiv)	Heating Equipment	N/A

For SKYTECH CONSTRUCTION PVT. LTD.

SATISH MALICK

Signature of declarant with designation and seal

Place:

Date:-

926
20/10/14

Note:= Section 3(i) of the Act has defined the term "common areas and facilities" and the above common areas and facilities are illustrative and not exhaustive.

Annexure 'E'
Details of the limited common area and facilities of the building to
which the present declaration relates

"Limited Common areas & Facilities" (as defined in 5. 3(c) of the Act and shown in Exhibit 'A')	
Parking	N/A
Lobby, giving access to the elevator (s) to specified dwelling unit	N/A
Corridor extending from the lobby to the stairway	1010.65 Sq.mt

For SKYTECH CONSTRUCTION PVT. LTD.

SATISHM ALICE

Signature of declarant
with designation and seal
Authorised Signatory

Date: 20/10/14
Place: 43b

Note:-Section 3(s) of the Act has defined the term "limited common areas and facilities" means "those common areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

Schedule-A
[Specifications of Construction]

1. Foundation: Raft
2. Flooring: Vitrified tiles or equivalent flooring.
3. Doors and Hardware: Wooden doors having lock with hardware at Main Entrance.
4. Windows: Wooden windows with glass shutters.
5. Internal Finish: All walls plastered, P.O.P. & painted with OBD Paint, P.O.P in Drawing/Dinning and all bedrooms.
6. External Finish: Exterior Paint.
7. Sanitary ware and fittings: Sanitary - ceramic sanitary ware Fittings – Hot & Cold water supply (without geyser) with CP fittings.
8. Electrical: Copper wiring in concealed PVC conduits. Modular switches for light & power points. TV & Telephone points in bedroom & drawing/dinning.
9. Plumbing and water Line: As per NBC.

Place: 936

For SKYTECH CONSTRUCTION PVT. LTD.

SATISHMALIC

Authorised Signatory

Signature of declarant
with designation and seal

Annexure 'F'

Details of the "independent areas" of the building to which the present declaration relates

"Independent areas" (as defined in 5. 3(P) of the Act)	
Parking	Open - 474.61 m ² Stilt - 518.81 m ² Basement - 1968.05 m ²
Servant quarter	N/A
Community Area	20 Sq.mtr
Convenient shops	N/A
Terrace	753.67 m ²

For SKYTECH CONSTRUCTION PVT. LTD.

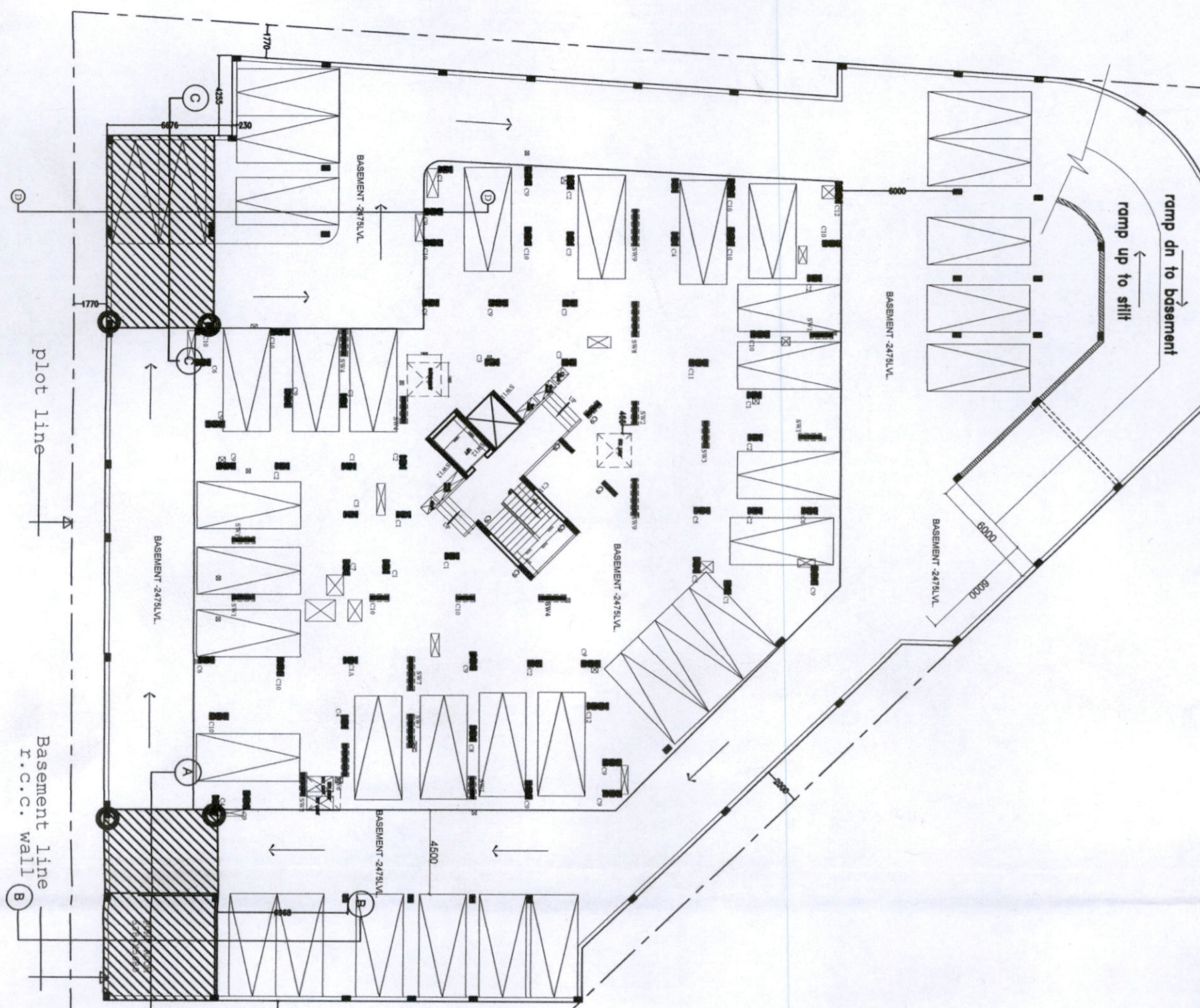
SATISHM ALICK

Signature of declarant
with designation and seal
Authorised Signatory

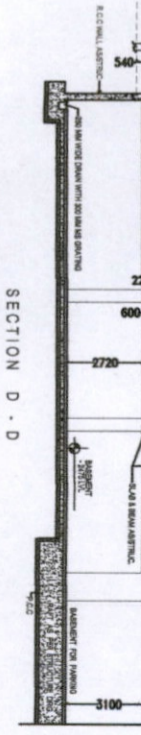
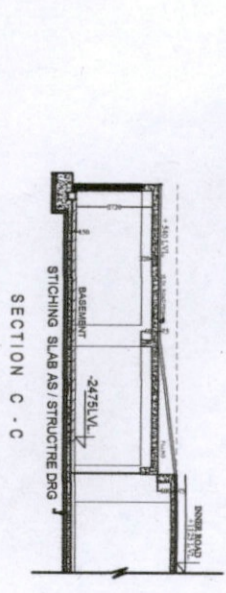
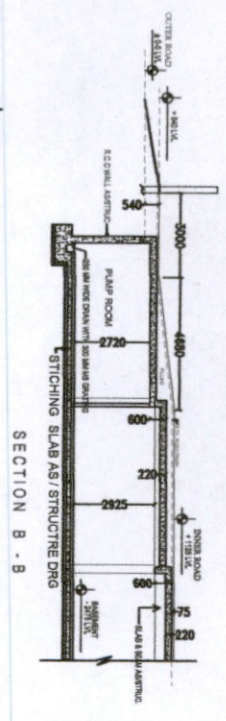
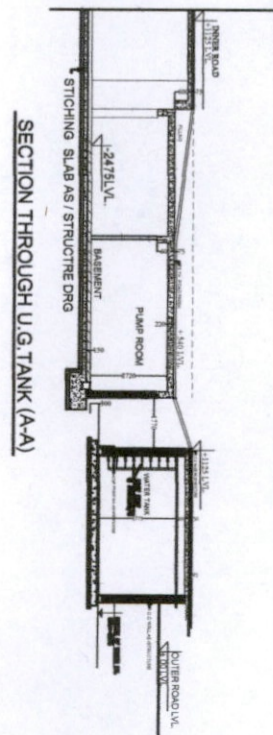
Date: 20/10/14

Place: 43b

Note:-Section 3(p) of the Act has defined the term "independent area" which means the areas which have been declared but not included as common areas for joint use of apartments and may be sold by the promoter without the interference of other apartment owners.

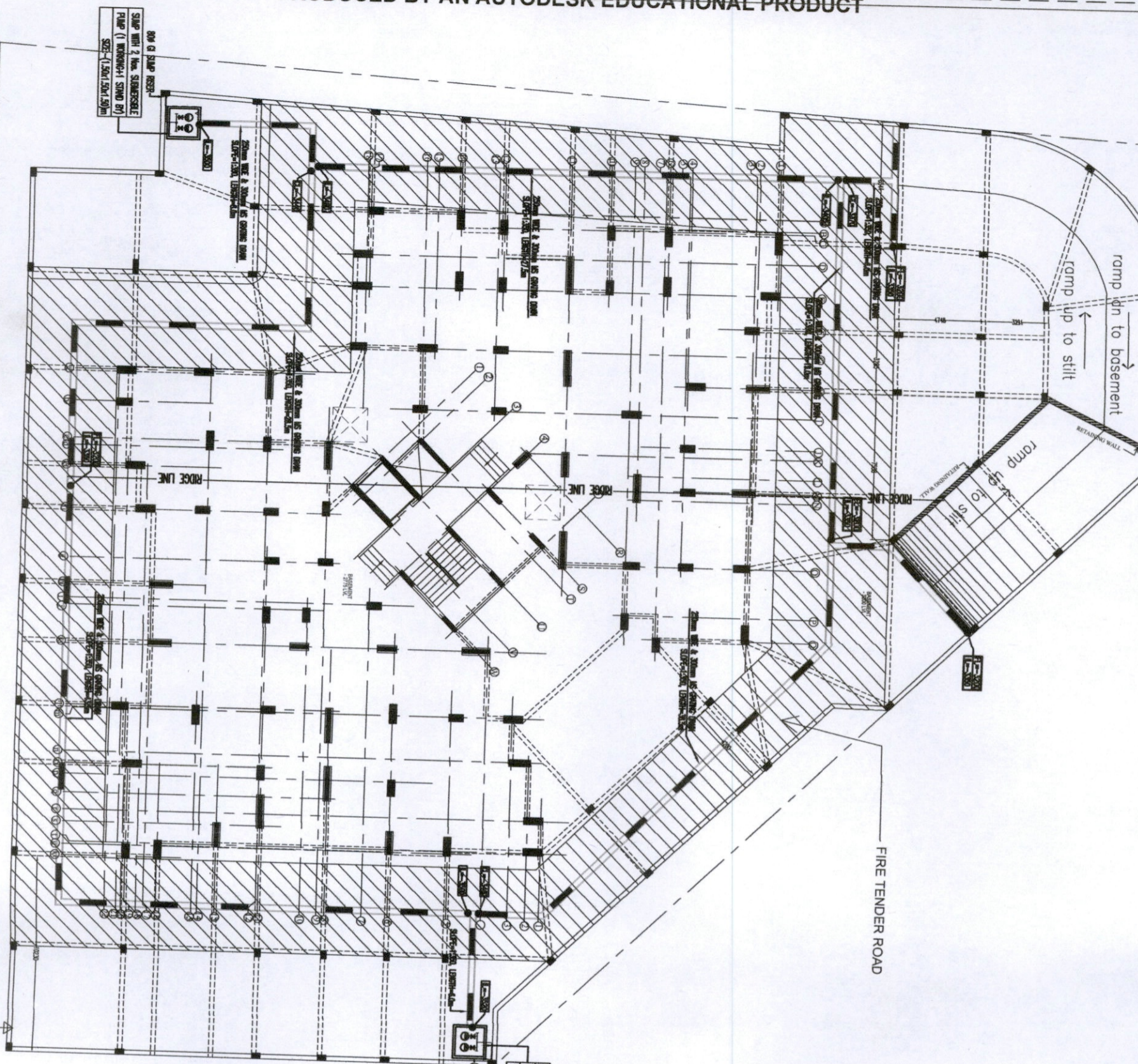


① COLUMN ADDED FOR LOW LEVEL SLAB



For Skytech Construction Pvt. Ltd.

PROJECT	WORKING DRAWING OF HOUSING SKY AT N.H. 24, CROSS
OWNER	SKY
DRAWING TITLE	Basement
ARCHITECT	ANUJ AGARWAL
engineers	ANUJ AGARWAL
Hall No. 01, Jang	C.S. -05, Gyan K
Mod. - 9810198922	Ph-9
E-mail: anuj@sk	



SCHEDULE OF PIPES

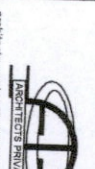
NO. of SLAB RISER

SLAB SIZE (1500x1500x150)

250mm WIDE & 300mm HS

REVISION	DESCRIPTION

ISSUE	BT	PRINTS	DESCRIPTION



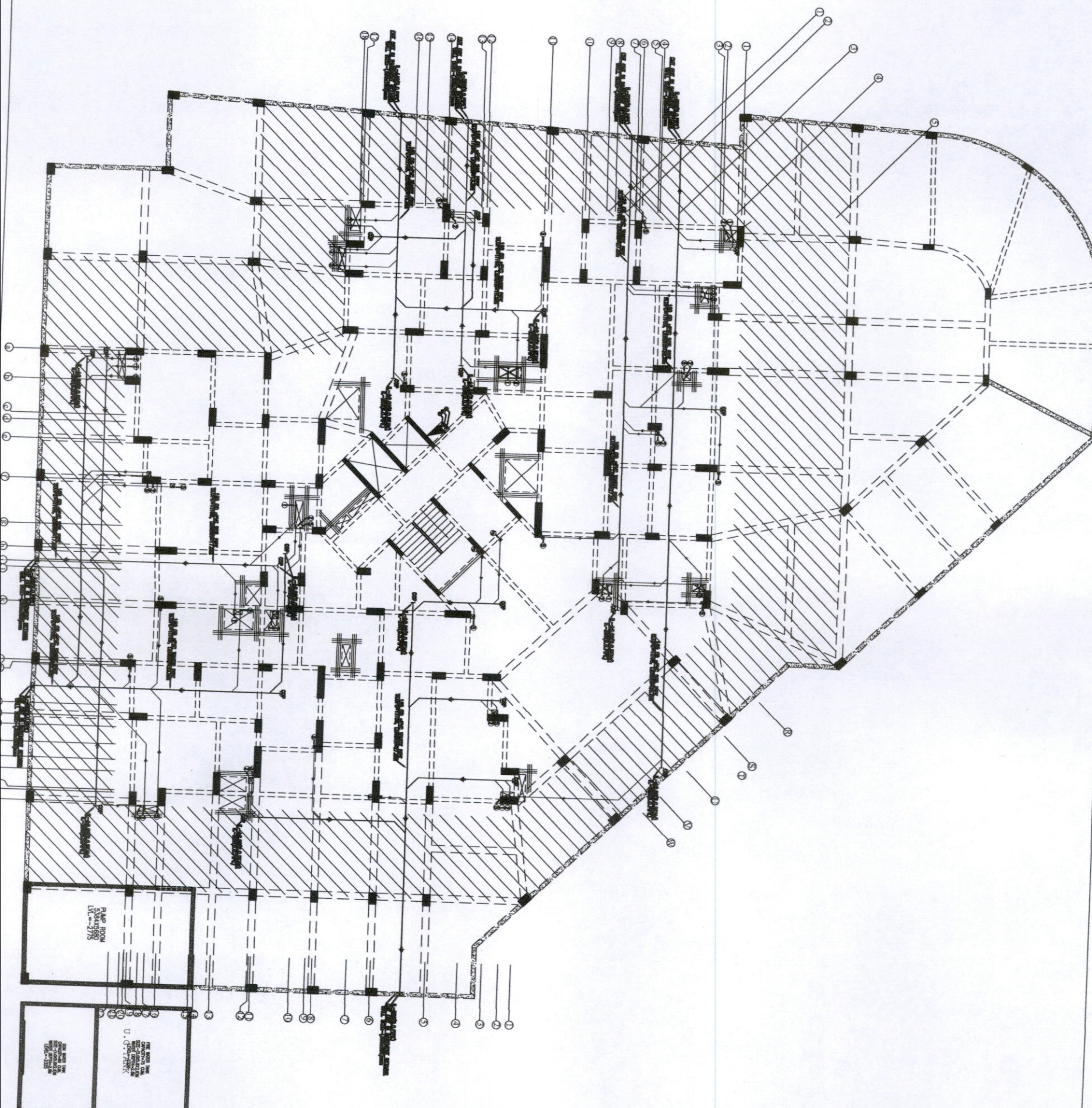
architects engineers landscape
ANJU AGARWAL ARCHITECTS
 Hall No-07, Ind. Park, 4th
 C-8-08, Green World-II, Indir
 Moh., - 581011999, 130.
 Email: anju.architects@gmail.com

SERVICES CONSULTANTS:
PARADISE CONS
 G-7/C SAKSHI BLDG., KODIA RD
 NEAR KALINGONDA
 NEW DELHI-110029
 PH: 011-28645001, 24528427
 FAX: 011-28645001
 Email: paradiseconsulants@gmail.com

Project Title
 WORKING DRAWING FOR THE
 HOUSING - MERION RESIDENC
 AT NH. 24 CROSSING REPUBLI
OWNER:
SKYTECH MERIO

DRAWING TITLE:
BASEMENT FLOOR
[PLUMBING LAYOUT]

Scale : 1:100(A1)
 date : 13/11/09
 Project no :
 drawing no : **PL-PC-SKM-1**



PLUMBING	SYMBOL	SCHEDULE
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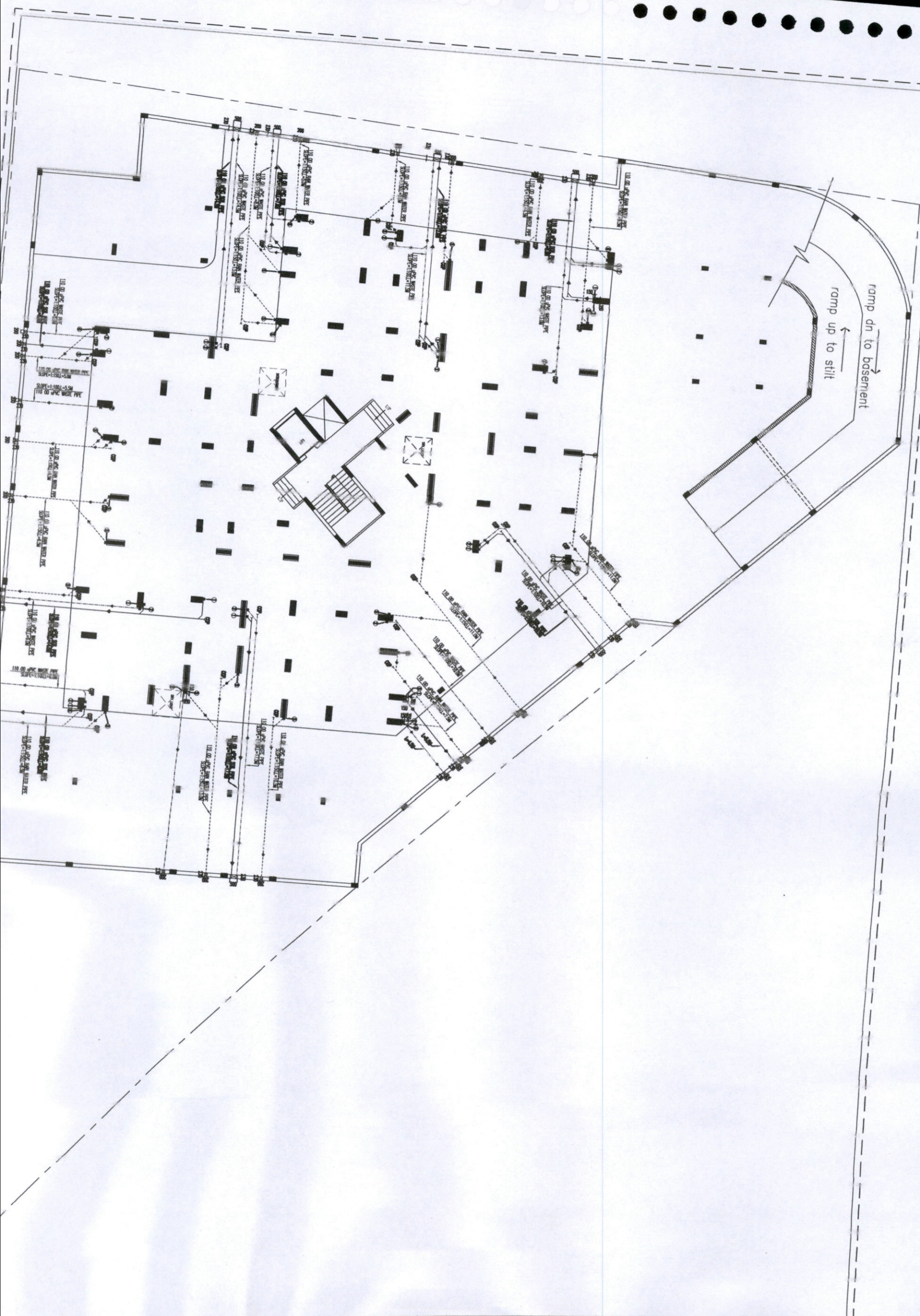
scale : 1:100 (A)
 date : 30/05/2012
 project no : 84/1302
 drawing no : 01

BEHE
 SERVICES CO.
 F-623a, BE
 LADO SARA
 Ph: 011-401
 Email: behe

architect engineer
ANUJ AGAR
 OFF. - A-24,
 (NEAR AI
 Mohl. - 9871
 Email: anuj

ARCHITECTS
 ISSUE BY PRINTS
 PROJECT TITLE
 WORKING DRAWING
 AT N.H. 24, CROSS
 OWNER:

SKYTECH
 DRAWING TITLE
BASEMENT PLUMBING



PLUMBER

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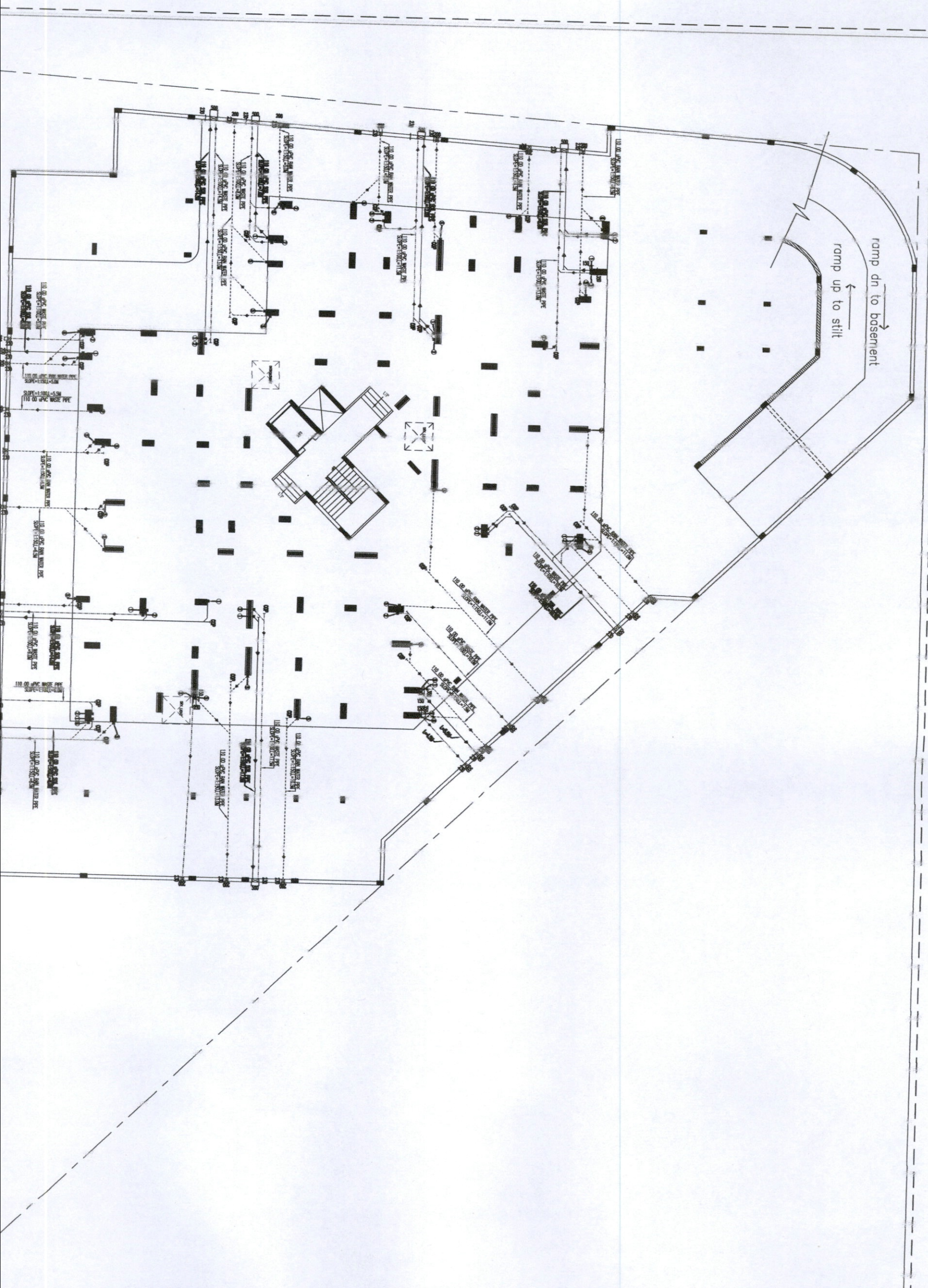
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ramp dn to basement
 ramp up to stilt

PLUMBING NO.	REV.	DATE	DESCRIPTION
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108	1		
109	1		
110	1		
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116	1		
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118	1		
119	1		
120	1		

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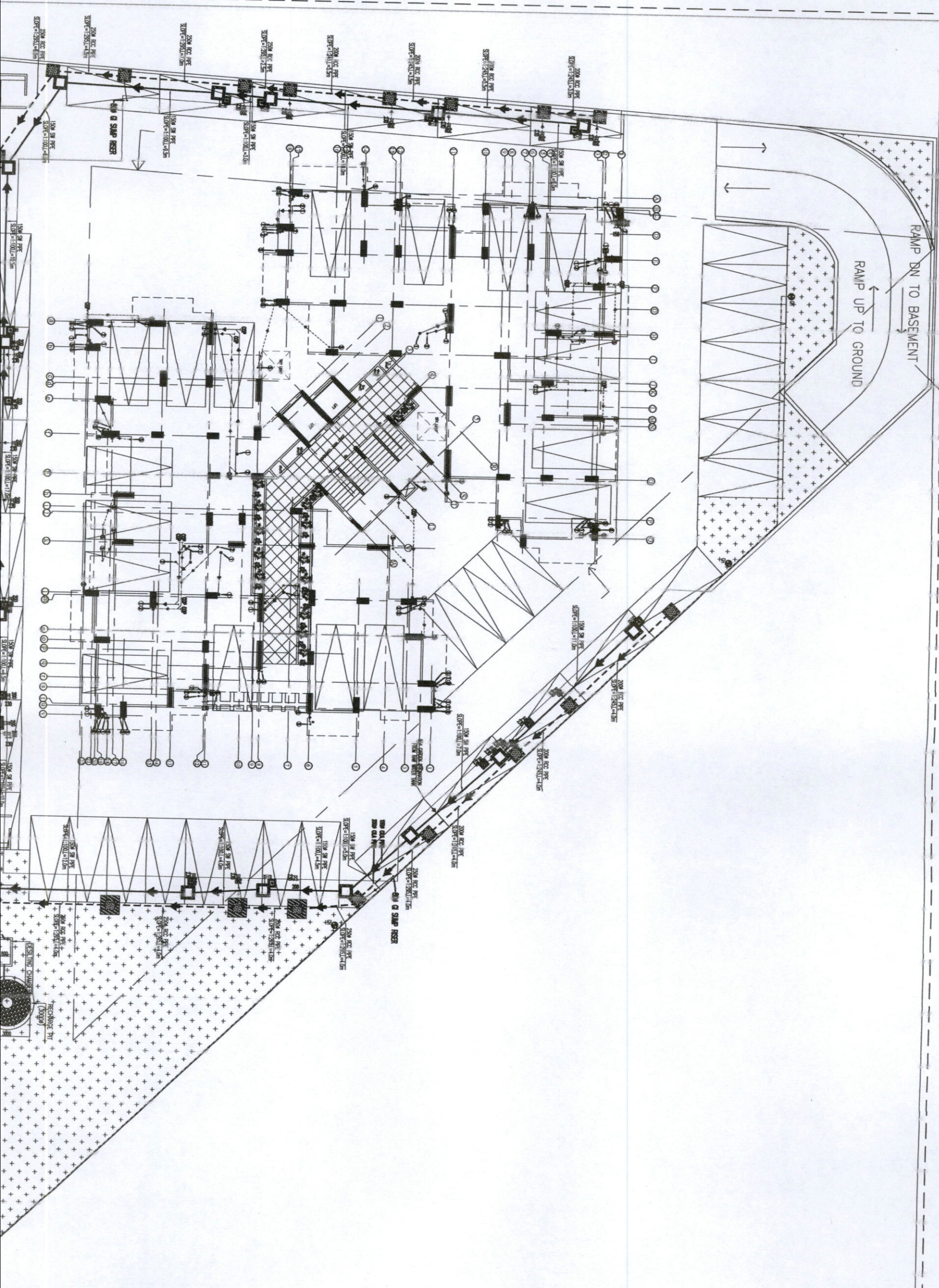
Architects, engineer
ANNU AGARWAL
 Hall No-01
 C-8-08, O/A
 Mob: - 9
 Email: annu@paradise.com

SERVICES CON:
PARADISE
 G-7/8 SHAHEN
 NEAR KALINJOK
 NEW DELHI-110
 Ph: 011-299428
 Fax: 011-299429
 Email: paradise

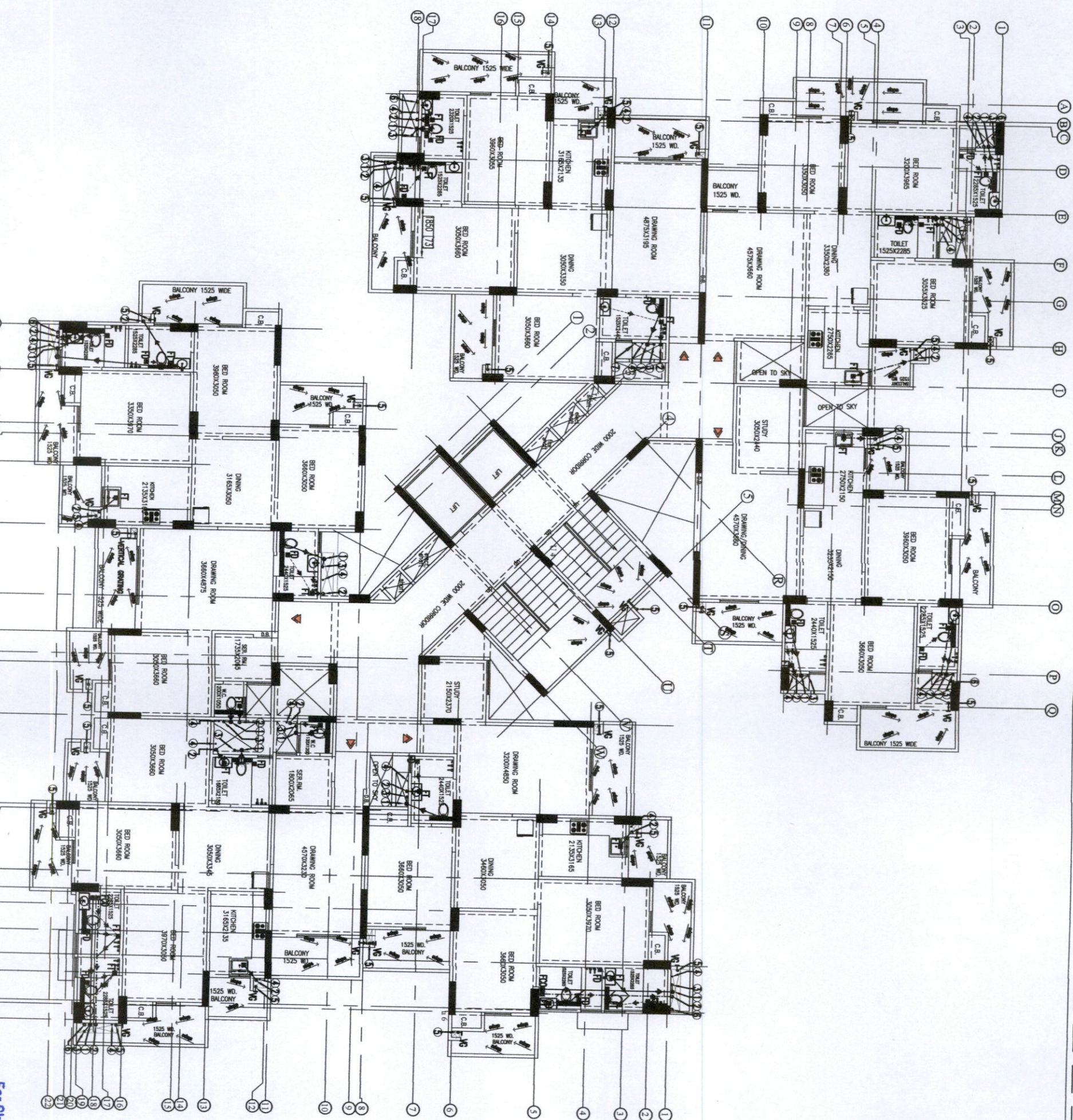
Project Title
WORKING DRAWING
HOUSING - MERIC
AT N.H. 24 CROSS
OWNER
SKYTECH

DRAWING TITLE:
BASEMENT
PLUMBING

Scale: 1:100 (A)
 Date: 12/01/2011



FLUORING NO	118		
DATE	20/03/2008		
SCALE	1:1000(A)		
PROJECT NO	24/1208		
DATE	24/1208		
PROJECT TITLE	STILT ROOF PLUMBING		
DRAWING TITLE	SKYTECH		
OWNER	SKYTECH		
PROJECT TITLE	WORKING DRAWING HOUSING - MERID AT N.H. 24 CROSS		
OWNER	SKYTECH		
SERVICES CON	PARADIS		
PARADIS	G-77C SHAENI NEAR KALINDI NEW DELHI-110		
PARADIS	PH: 011-2862828		
PARADIS	PAX: 011-2862828		
PARADIS	Email: paradis@paradis.com		
architects engine	ANJU AGARWAL		
architects engine	Heli No: 01		
architects engine	C.S. 08, Old		
architects engine	Mob.: 9810011111		
architects engine	Archit. Acad.		
SCALE BY PRINTS			
REVISION			
NO	DATE	BY	REVISION
01			OWNER'S APPROVAL
02			CLIENT'S APPROVAL
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PLUMBING NOTES:-

- 1. (150x150mm) TRIP, FLOOR IN (20x20mm) 150mm TRICK

SCHEDULE OF PIPES

SYMBOL	DESCRIPTION
1	110 ØD UPVC
2	110 ØD UPVC
3	ØD ØPVC H
4	ØD ØPVC H
5	ØD ØPVC H
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8	ØD ØPVC H
9	ØD ØPVC H
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16	ØD ØPVC H
17	ØD ØPVC H
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21	ØD ØPVC H
22	ØD ØPVC H

REVISION

NO.	DESCRIPTION	DATE

ISSUE BY: PRINTS
DESIGN: DESK



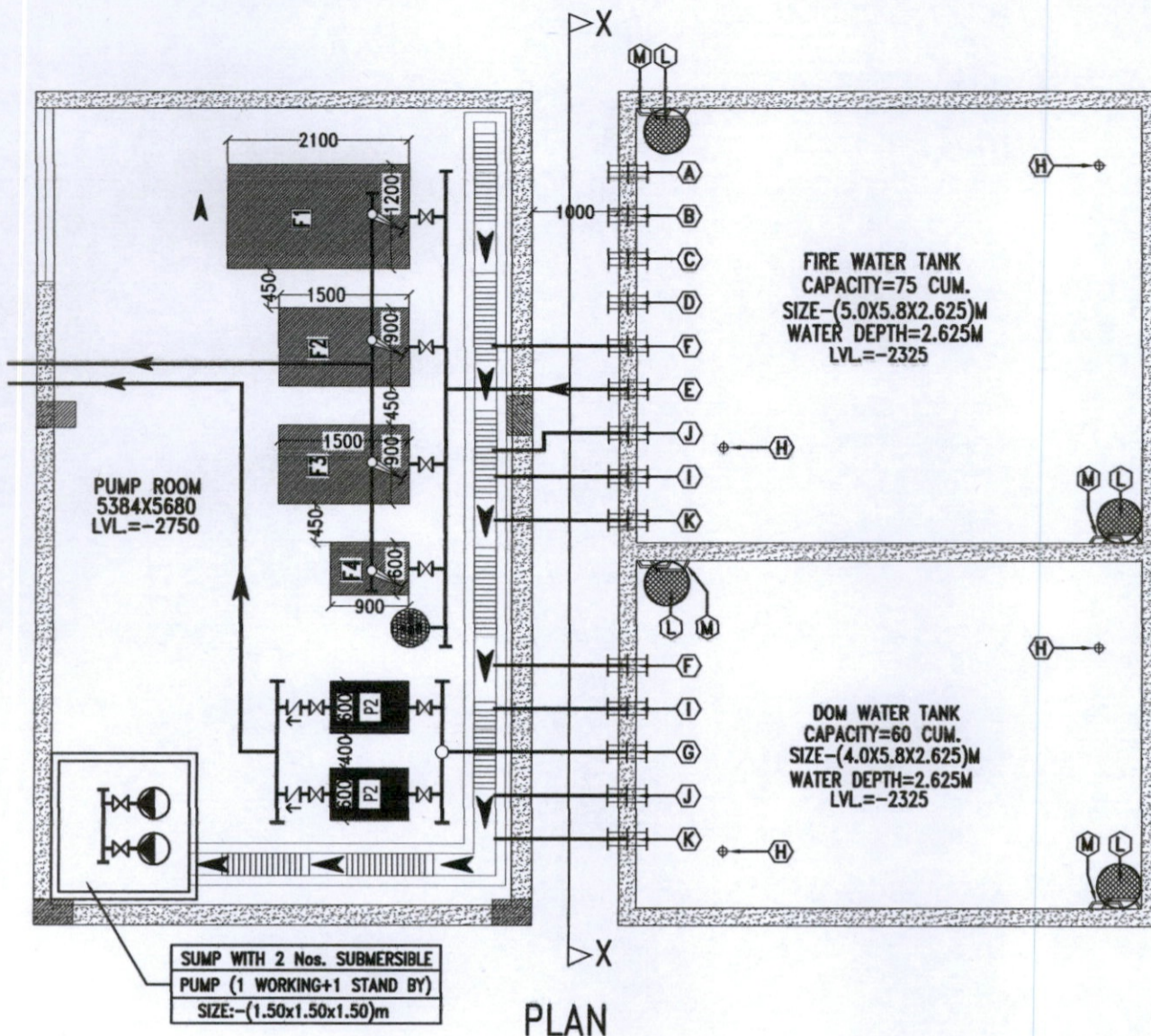
ANCHITEE
architects, engineers & interior designers
ANU AGARWAL A
Hull No-01, Ind

C.S.-06, Gyan Kish
Mob. : 98101-
e-mail: anu.agarwal

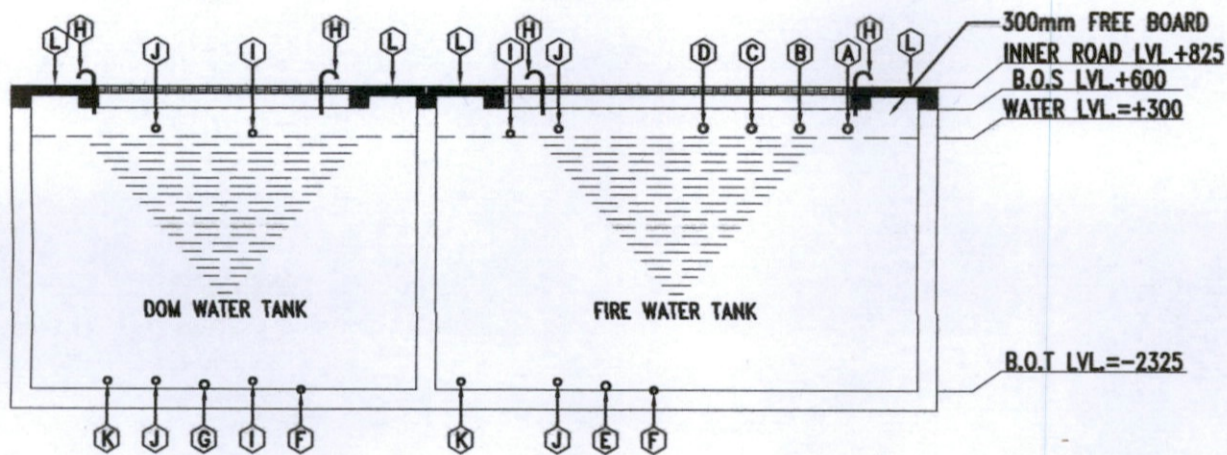
SERVICES CONSUL
PARADISE
G-76C SHAHEEN BAGH
NEAR KALINDIKUNJ
NEW DELHI-110025
PH: 011-29944901, 2
FAX: 011-29944901
E-mail: paradiseconu

Project Title
SKYTECH M
DRAWING TITLE:
TYPICAL FLOOR
[still+ground+15th
PLUMBING LAY
OWNER:
WORKING DRAWING
HOUSING "MERION F
AT N.H. 24, CROSSING
AT N.H. 24, CROSSING

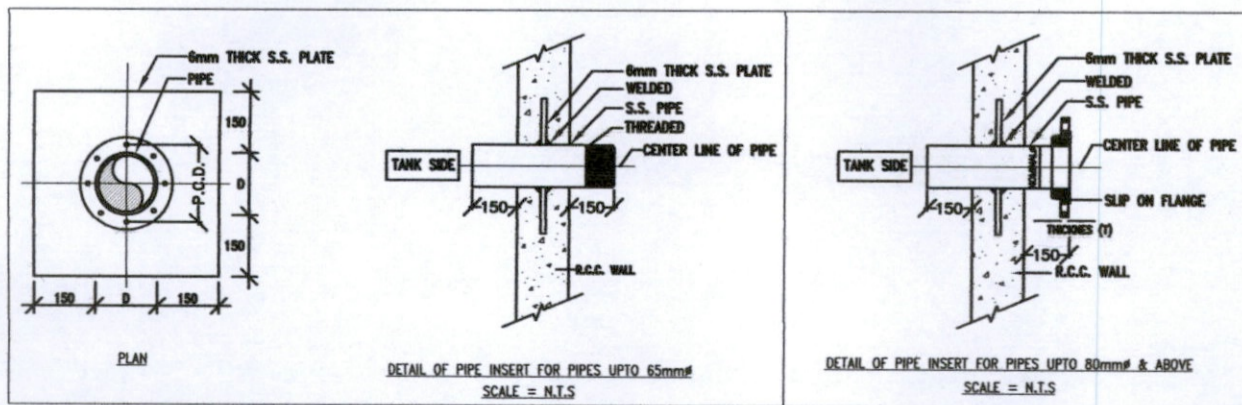
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PLAN



SECTION-XX



PLAN

DETAIL OF PIPE INSERT FOR PIPES UP TO 65mm ϕ
SCALE = N.T.S

DETAIL OF PIPE INSERT FOR PIPES UP TO 80mm ϕ & ABOVE
SCALE = N.T.S

LEGENDS :-

SYMBOL	DESCRIPTION	DIA OF PIPE	PIPE LOCATION	BOTTOM OF SLEEVE	NO. OF SLEEVE
(A)	INLET CONNECTION FROM CITY WATER.	50 ϕ	UPPER LEVEL.	LVL.=+250MM	2 NOS.
(B)	INLET CONNECTION FROM TUBE WELL.	80 ϕ	UPPER LEVEL.	LVL.=+250MM	1 NOS.
(C)	FIRE BRIGADE WITHDRAWAL CONNECTION.	150 ϕ	UPPER LEVEL.	LVL.=+250MM	1 NOS.
(D)	TANKER INLET CONNECTION	100 ϕ	UPPER LEVEL.	LVL.=+250MM	1 NOS.
(E)	SUCTION PIPE FOR FIRE PUMPS.	200 ϕ	LOWER LEVEL.	LVL.= -2325MM	1 NOS.
(F)	DRAIN PIPE.	100 ϕ	LOWER LEVEL.	LVL.= -2475MM	2 NOS.
(G)	SUCTION PIPE FOR DOMESTIC WATER PUMPS.	100 ϕ	LOWER LEVEL.	LVL.= -2325MM	1 NOS.
(H)	VENT PIPE.	100 ϕ	UPPER LEVEL.	TOP OF SLAB	4 NOS.
(I)	OVER FLOW PIPE.	50 ϕ	UPPER LEVEL.	LVL.=+300MM	2 NOS.

LEGEND:- CORRECT SPELLING

SYMBOL	DESCRIPTION
F1	DIESEL ENGINE DRIVEN PUMP.
F2	FIRE HIGHWAY ELECTRIC PUMP.
F3	SPRINKLER PUMP.
F4	Jockey Pump.
F5	DOMESTIC WATER TRANSFER PUMP
F6	2 NOS. (1 WORKING + 1 STAND BY)
M	VALVE
N	MOV
100	FLOW SWITCH

REVISION	DATE

ISSUE BY: PRINTS DESCRIPTION DATE

ARCHITECTS PRIVATE LIMITED
 architects, engineers, landscape & interior
ANUJ AGARWAL ARCHITECTS
 Half No-01, 1st Floor, Ajmera Complex
 C.S. 06, Gyan Khand-II, Indraprastha
 Mob. :- 9810119992, 120-6564893
 e-mail: anuj_agarwal@rediffmail.com

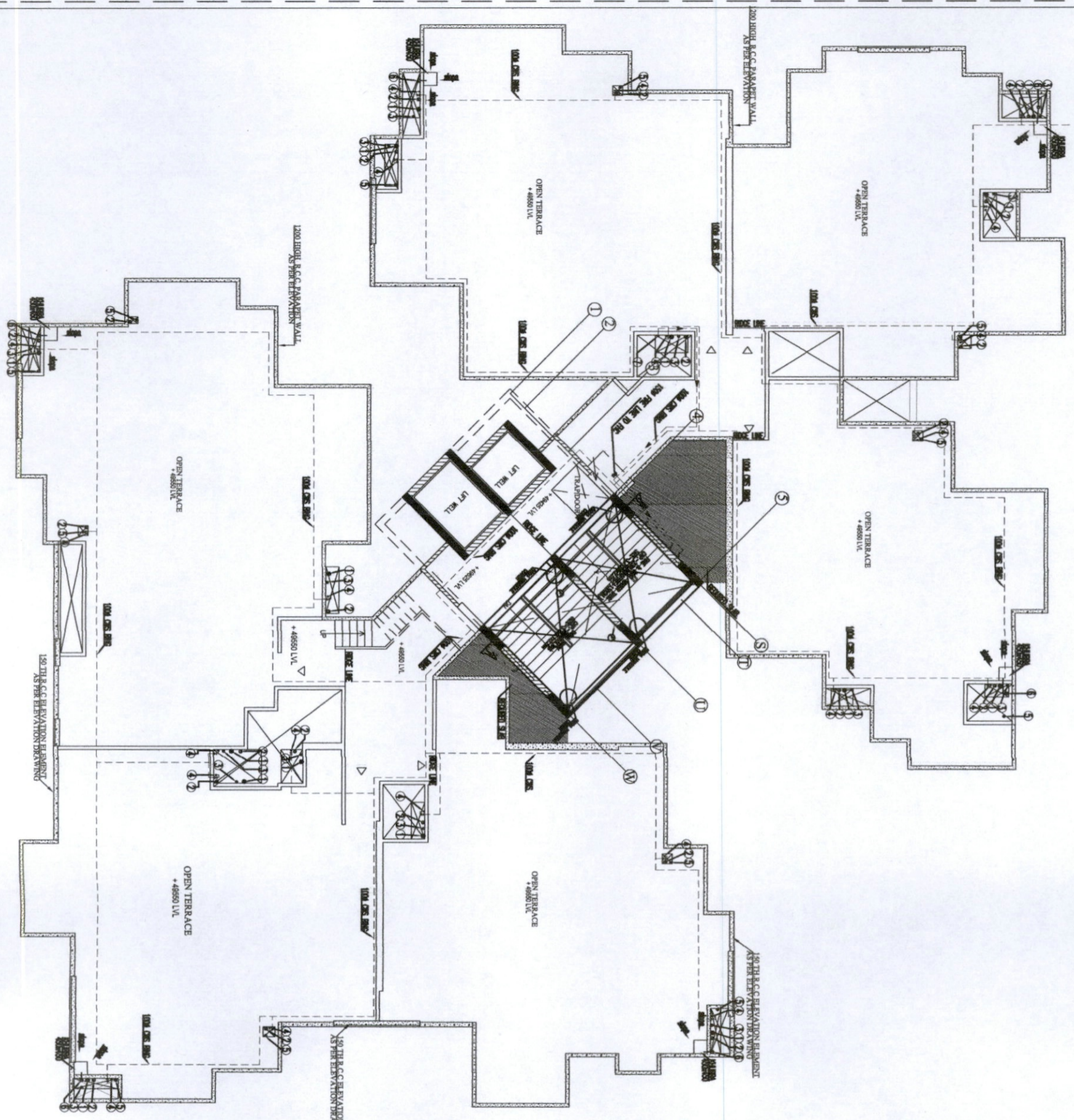
SERVICES CONSULTANTS:
BEHERA & ASSOC
 F-623a, BEHIND, CHD FILLING ST,
 LADO SARAI, NEW DELHI 110030

Project Title
 WORKING DRAWING FOR THE GRO
 HOUSING "MERION RESIDENCY"
 AT N.H. 24, CROSSING REPUBLIK GR
 OWNER:

SKYTECH MERION - I

DRAWING TITLE :-
 UNDER GROUND WATER

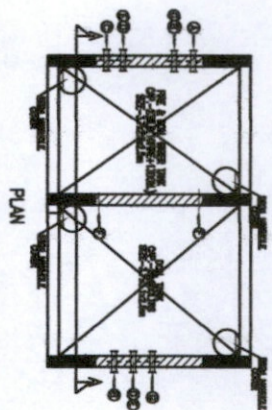
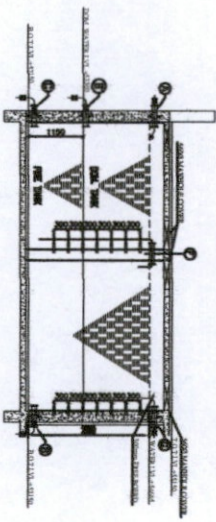
For Skytech Construction Pvt



LEGEND-

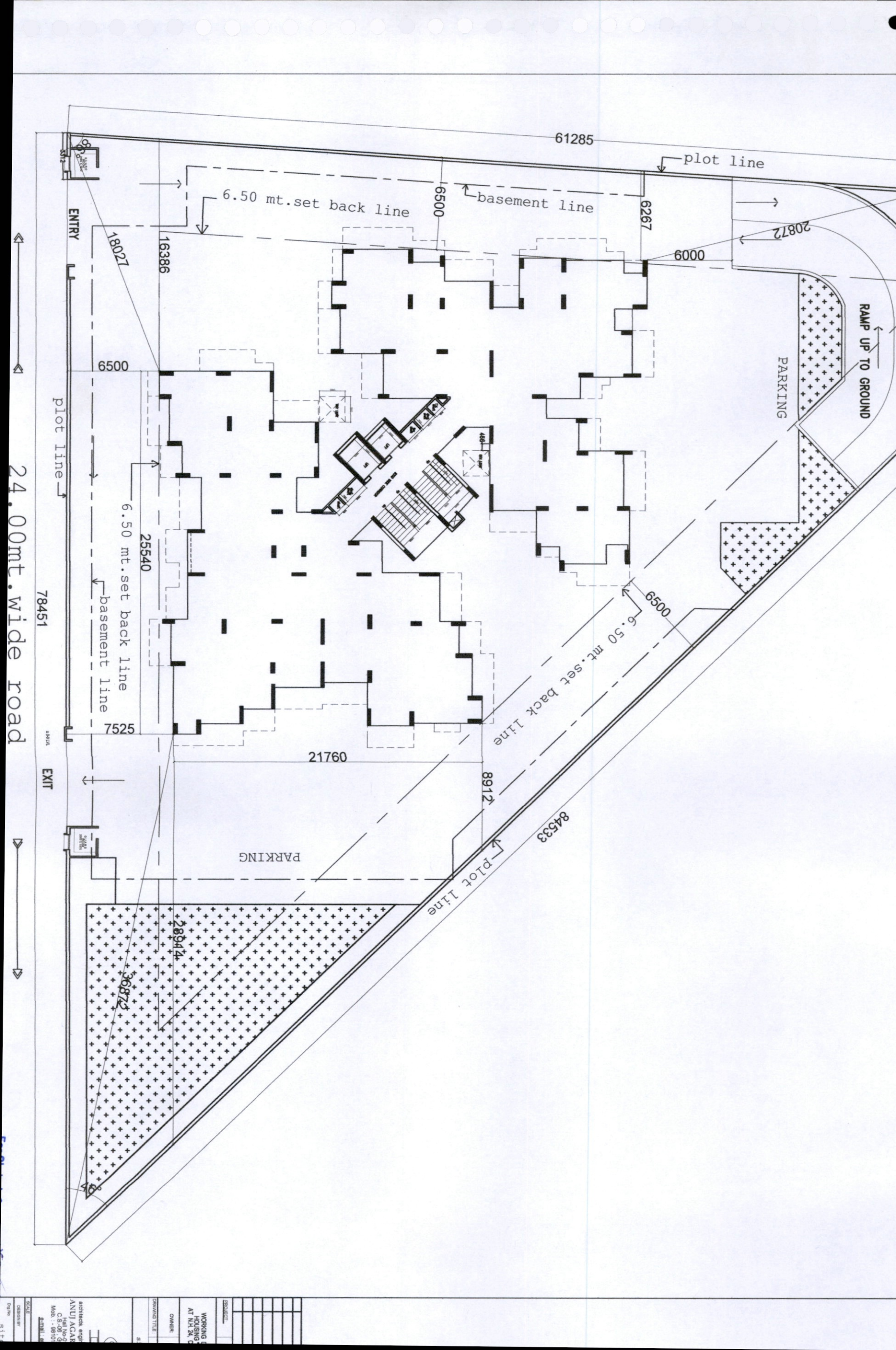
A	TANK FILLING PIPE	65Ø	100mm ABOVE WATER LVL.
B	OUTLET PIPE FOR DOMESTIC	100Ø	50mm ABOVE BOTTOM OF TANK
C	OUTLET PIPE FOR FIRE	100Ø	1150MM ABOVE BOTTOM OF TANK
D	OUTLET PIPE FOR FIRE	150Ø	50mm ABOVE BOTTOM OF TANK
E	DRAIN PIPE	100Ø	BOTTOM OF TANK
F	OVER FLOW PIPE	65Ø	TOP OF WATER LVL.
G	TANK TO TANK OVER FLOW	100Ø	WATER LVL.
H	LEVEL CONTROLLER	25Ø	50mm ABOVE WATER LVL.

SECTION-AA



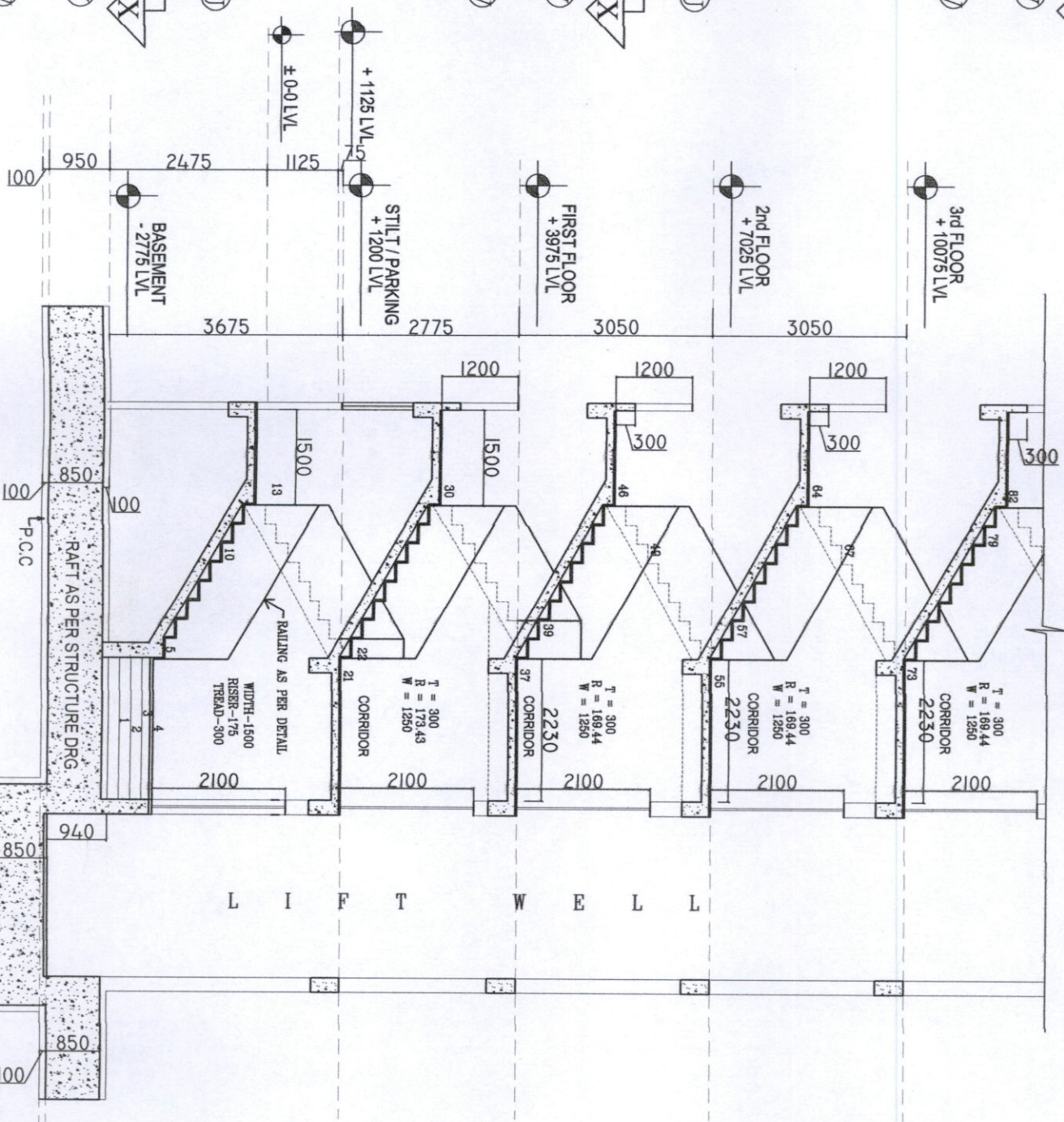
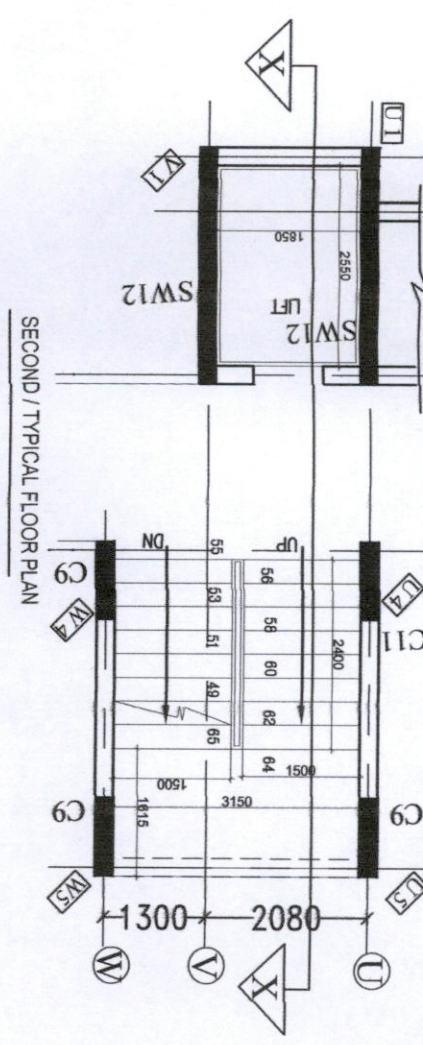
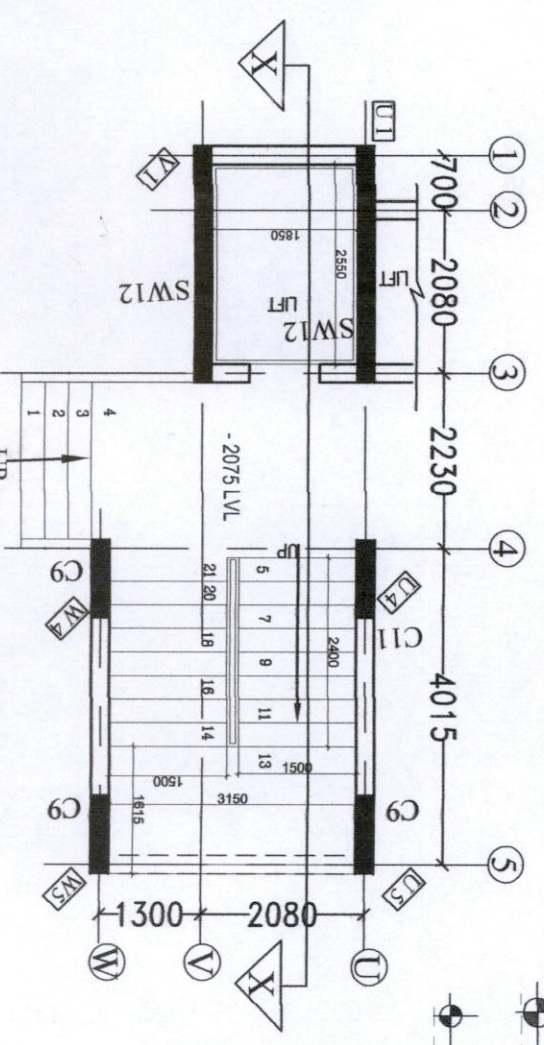
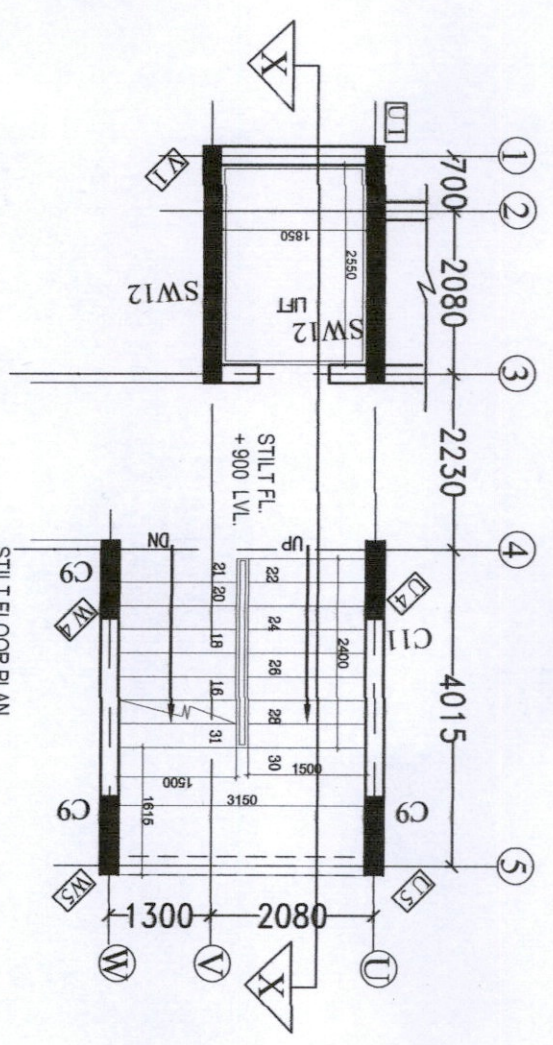
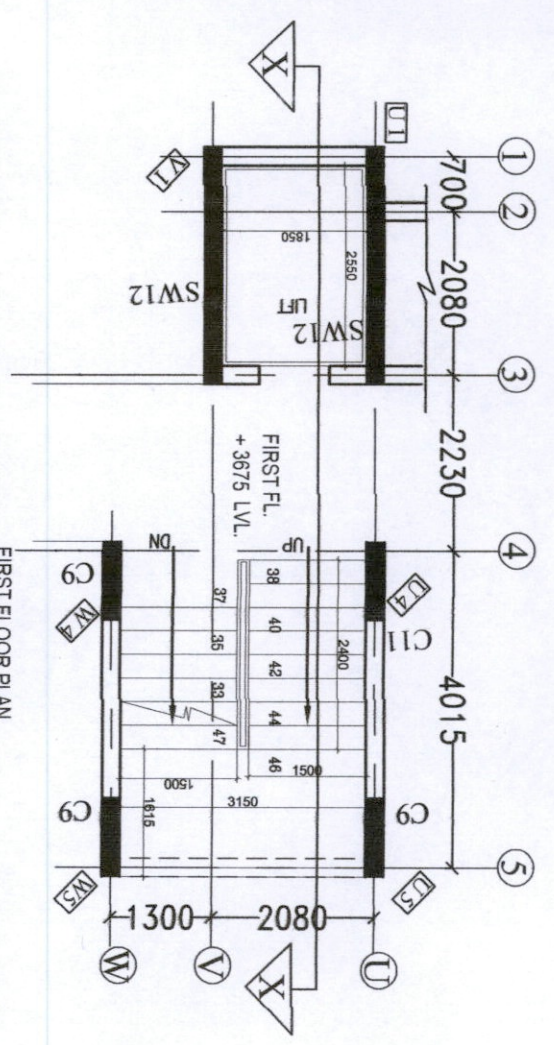
For Skytech Construction Pvt. Ltd.
 Auth. Signatory

PLUMBING NOTES:- 1. (150mm dia) 2. (100mm dia) 3. (75mm dia) 4. (50mm dia)		SYMBOL DESCRIPTION 1. 110 Ø ØPC 2. 110 Ø ØPC 3. 60 Ø ØPC 4. 60 Ø ØPC 5. 60 Ø ØPC 6. 110 Ø ØPC 7. 60 Ø ØPC 8. 60 Ø ØPC 9. 60 Ø ØPC 10. 60 Ø ØPC 11. 60 Ø ØPC 12. 60 Ø ØPC 13. 60 Ø ØPC 14. 60 Ø ØPC 15. 60 Ø ØPC 16. 60 Ø ØPC 17. 60 Ø ØPC 18. 60 Ø ØPC 19. 60 Ø ØPC 20. 60 Ø ØPC
SCHEDULE OF PIPES SYMBO. DESCRIPTION 1. 110 Ø ØPC 2. 110 Ø ØPC 3. 60 Ø ØPC 4. 60 Ø ØPC 5. 60 Ø ØPC 6. 110 Ø ØPC 7. 60 Ø ØPC 8. 60 Ø ØPC 9. 60 Ø ØPC 10. 60 Ø ØPC 11. 60 Ø ØPC 12. 60 Ø ØPC 13. 60 Ø ØPC 14. 60 Ø ØPC 15. 60 Ø ØPC 16. 60 Ø ØPC 17. 60 Ø ØPC 18. 60 Ø ØPC 19. 60 Ø ØPC 20. 60 Ø ØPC		REVISION REVISE AS PER ARCHT ISSUE BY PRINTS DES
SKYTECH N DRAWING TITLE: TERRACE F PLUMBING		ANUJ AGARWAL architects, engineers, i Hall No-01, Ind C.S.-08, Gyan Ki Mob. : 99101 E-mail: anuj.aga
SERVICES CONSUL BEHERA F-623a, BEH LADO SARAI PH- 011-405 E-mail- beha		Project Title WORKING DRAWING HOUSING * MERION AT N.H. 24, CROSSIN OWNER: SKYTECH N
scale : 1:100 (A2) date : 05/04/2011		Project Title WORKING DRAWING HOUSING * MERION AT N.H. 24, CROSSIN OWNER: SKYTECH N



24.00mt. wide road

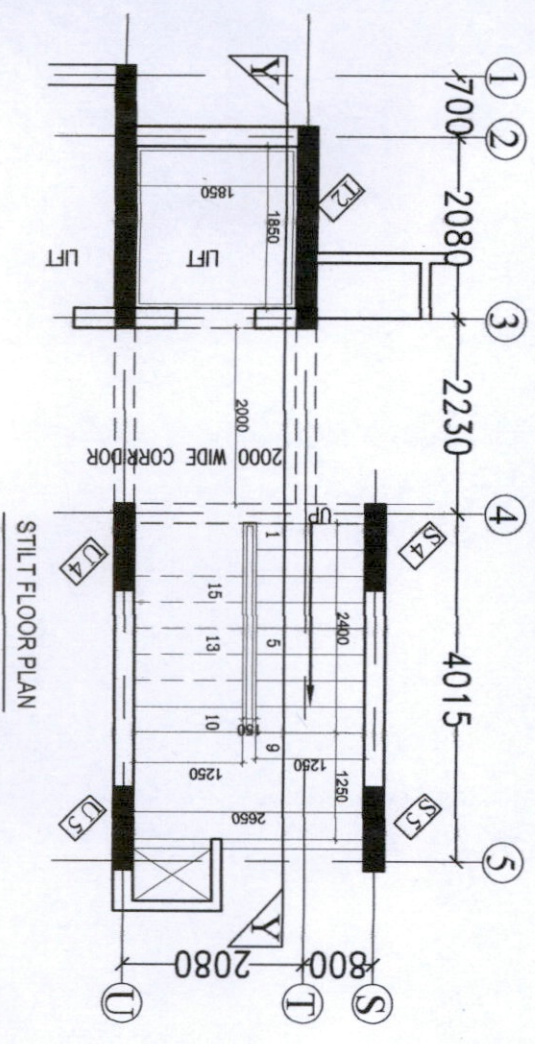
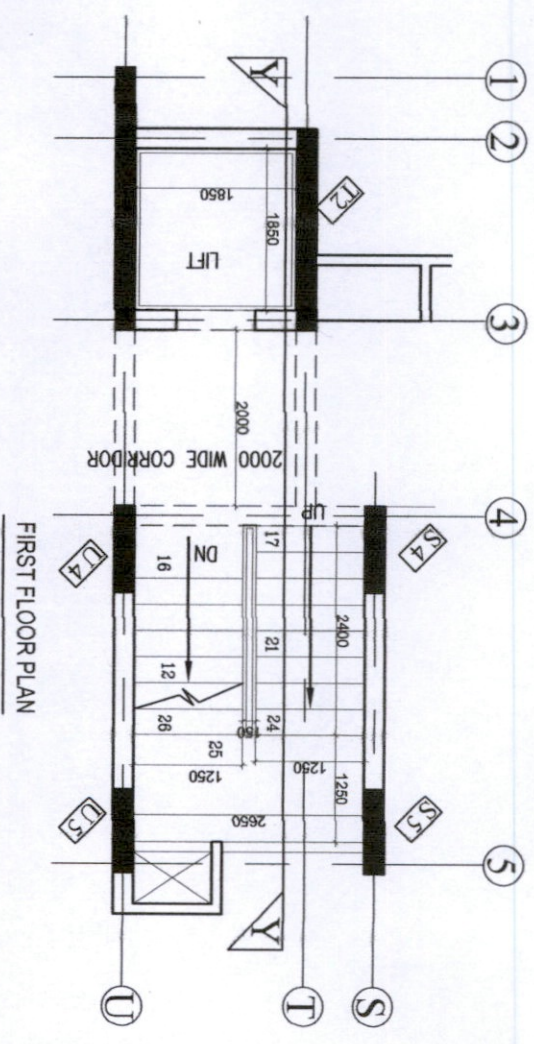
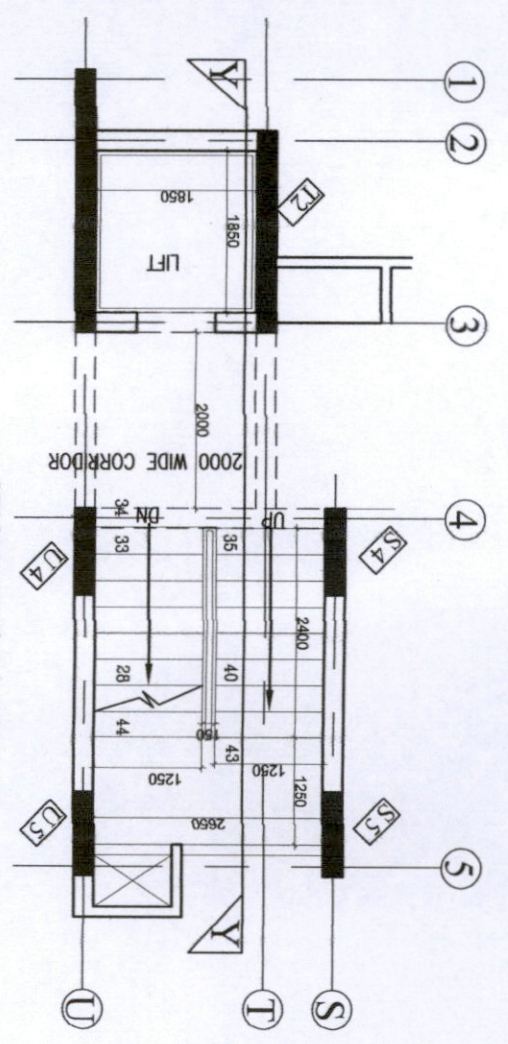
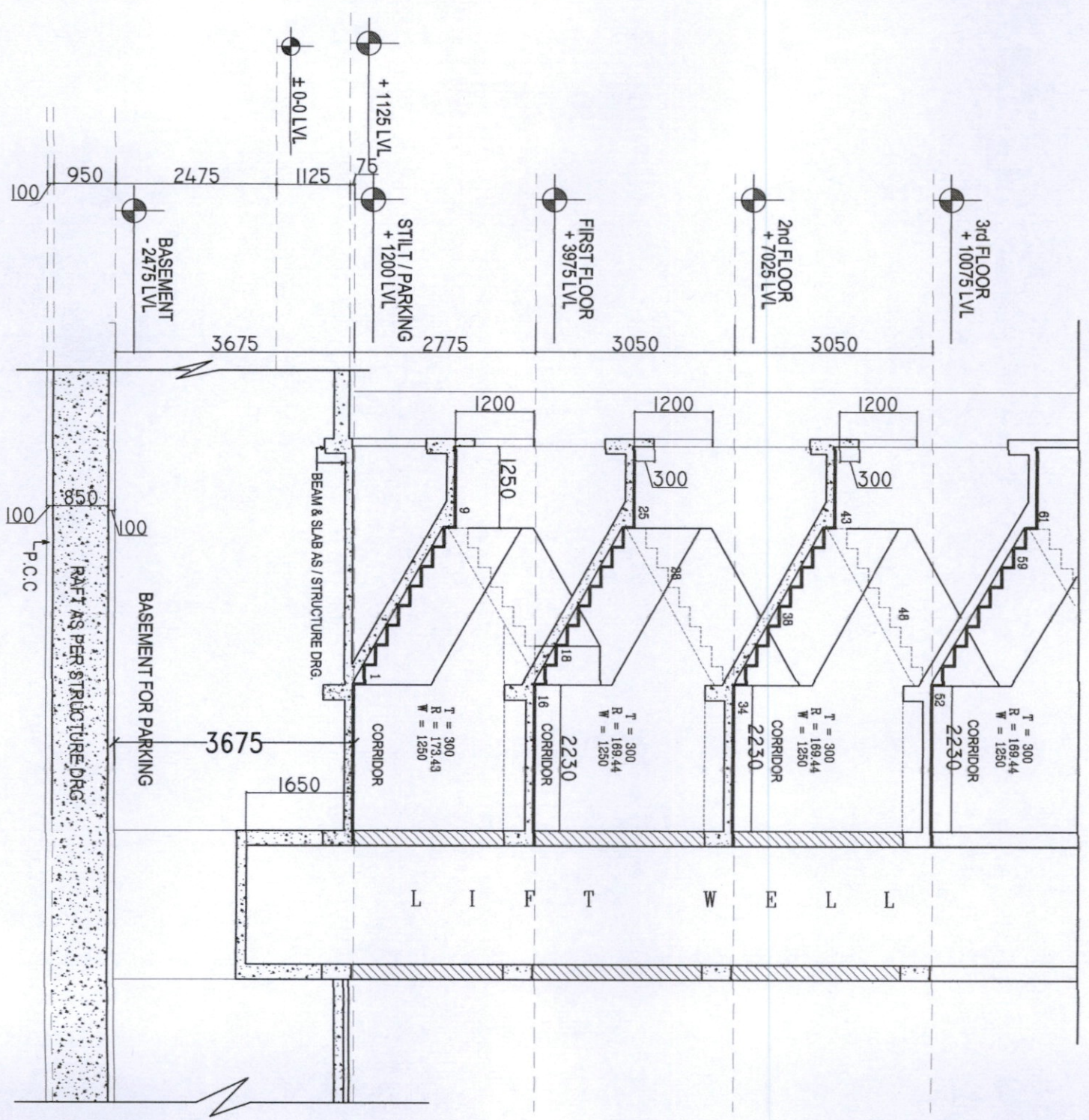
SCALE	DESIGNER	DATE
ARCHITECTS ENGINEER	ANUJ AGARWAL	11/11/2017
PROJECT	WORKING DRAWING FOR HOUSING AT NH 24, G	
OWNER		
DRAWING TITLE		

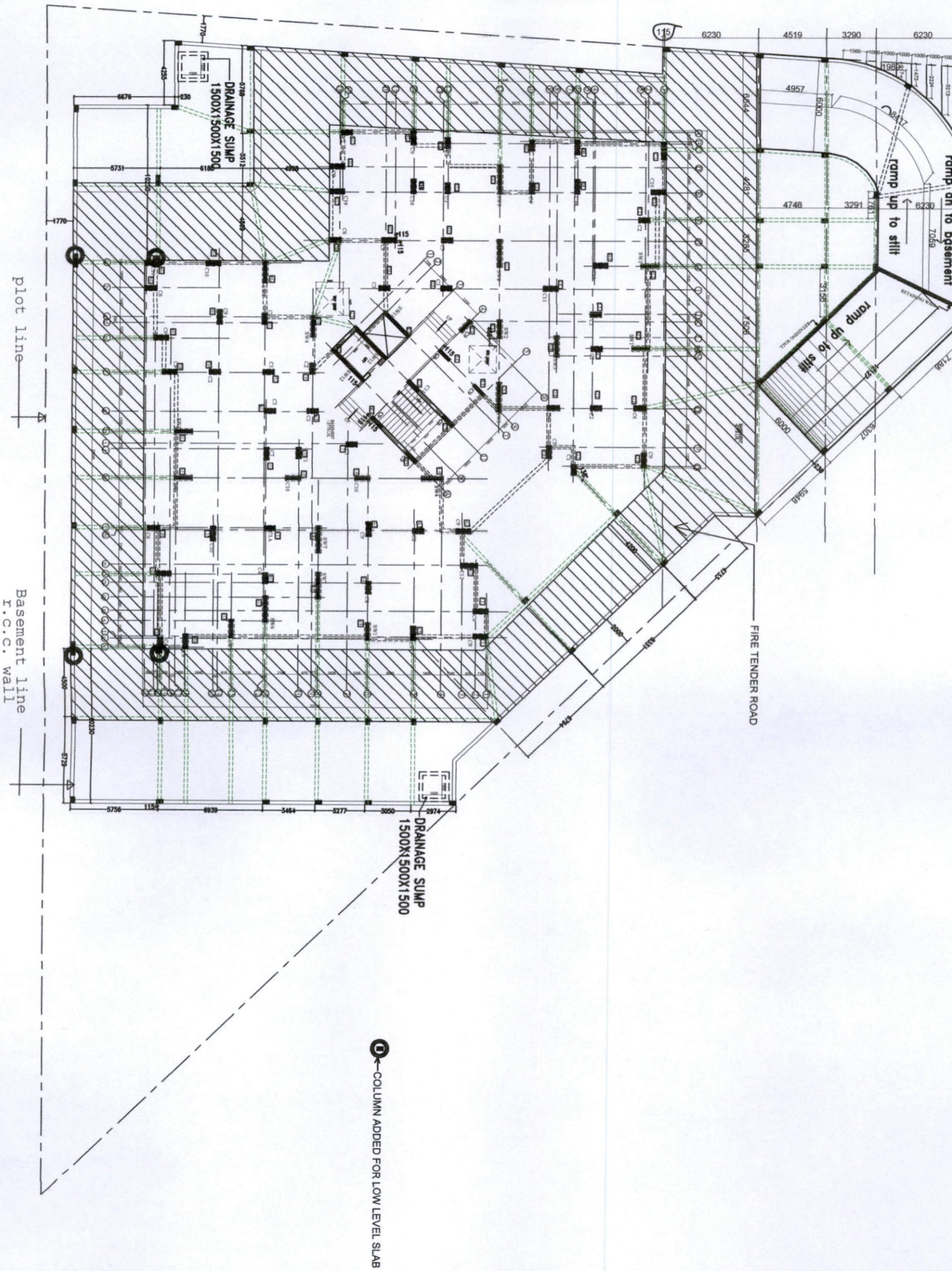


SECTION X - X

For Skytech Construction Pvt. Ltd.

SECTION Y - Y





Ⓧ COLUMN ADDED FOR LOW LEVEL SLAB

plot line

Basement line
r.c.c. wall

FIRE TENDER ROAD

ramp up to stilt

ramp up to stilt

DRAINAGE SUMP
1500X1500X1500

DRAINAGE SUMP
1500X1500X1500

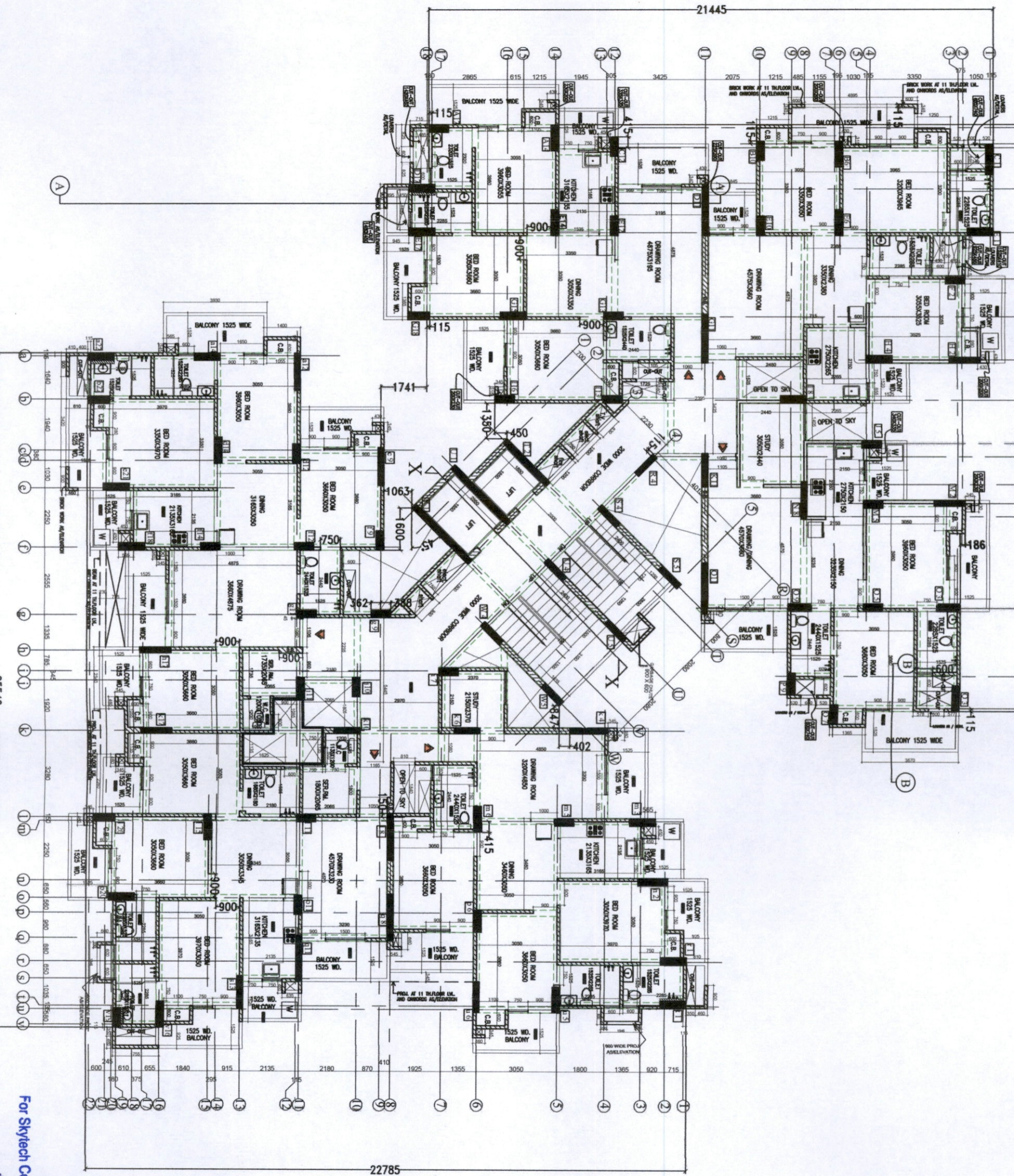
For Skytech Construction Pvt. Ltd.

architects, engineer
ANUJ AGARWAL
C-5/28, G.I. Colony
Mob.: - 9810713113
E-mail: anuj@skytech.in

WORKING DRAWING
HOUSING - S
AT NH. 24, CH
OWNER: S
DRAWING TITLE: D2
LOW

SL. NO.	REVISION	DATE

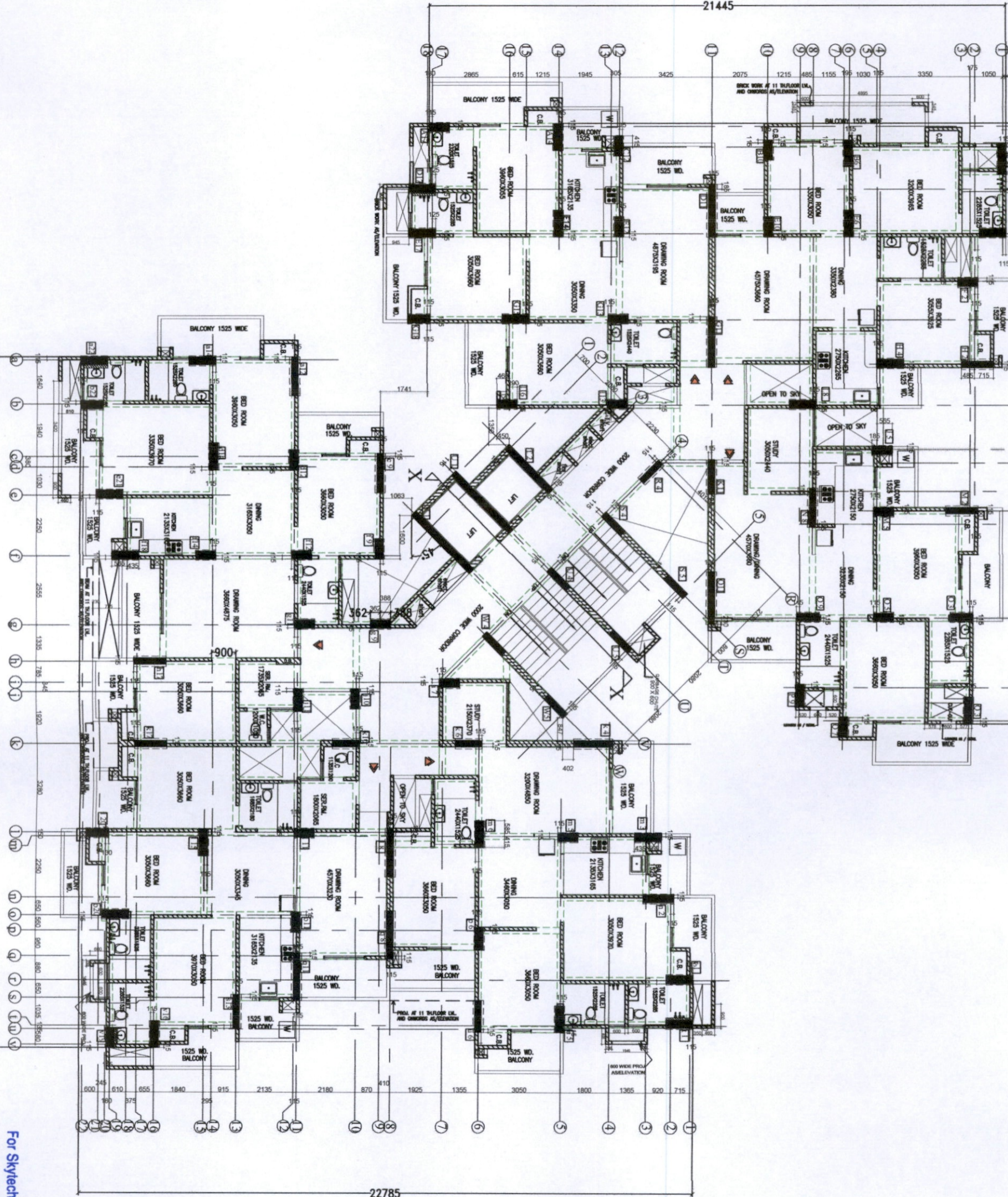
DATE:



For Skytech Construction Pvt. Ltd.

architects at ANUJ AGCA C-14, 1st Floor, Sector-14 Gurgaon, Haryana Mob: 98100-98100 Email: anuj@agca.com	WORKING HOUSE AT NH 24	OWNER	DRAWING TITLE	1
---	------------------------------	-------	---------------	---

21445



22785

For Skytech Construction Pvt. Ltd

architects
ANUJ AC
C.S.-D
Mod. - 9
S.M.M.

WORK
HOURS
AT N.H. 3

OWNER

DRAWING TITLE
Typical 1

SCALE

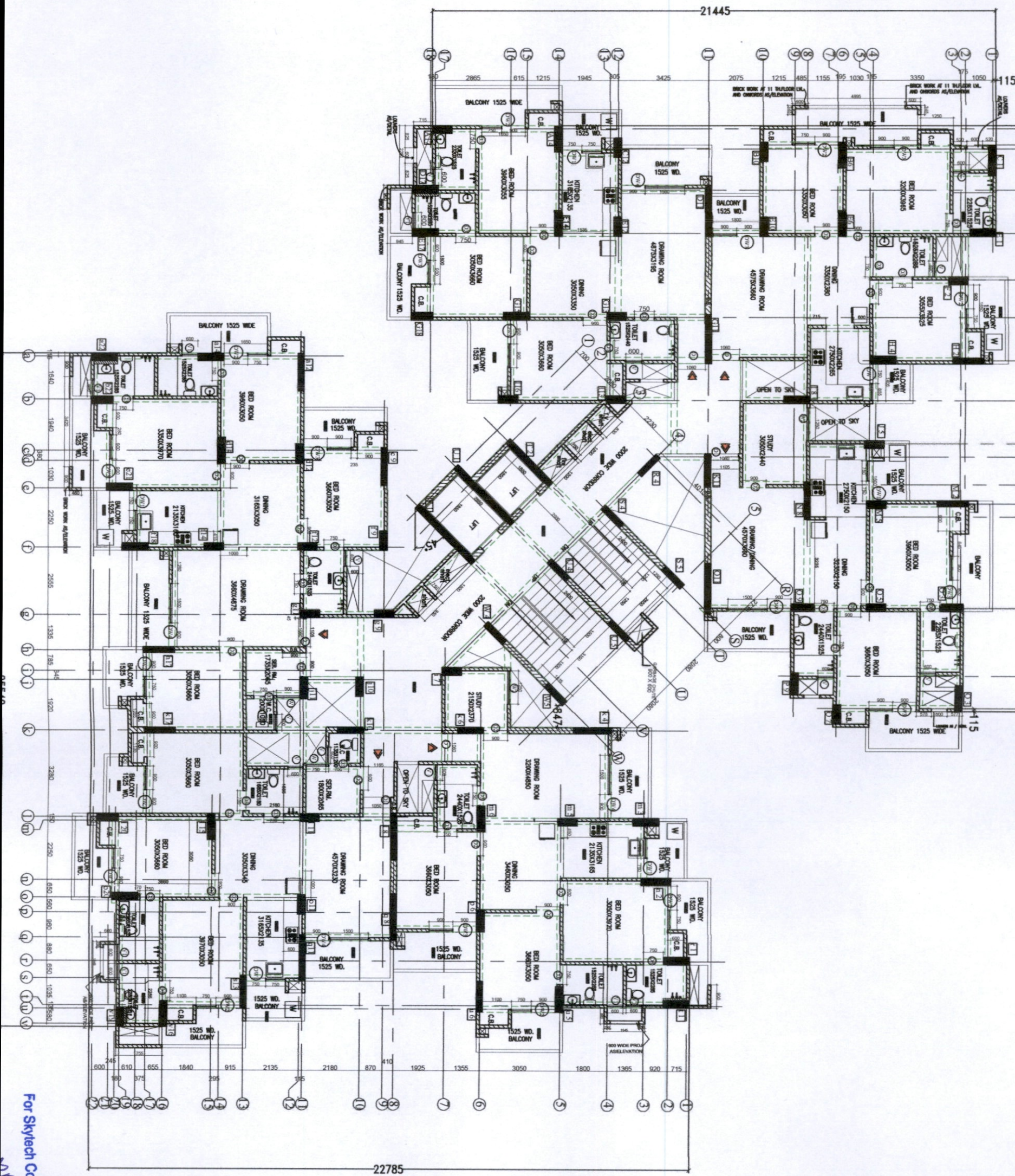
DATE

PROJECT

NO.

DATE

SCALE



For Skylech Construction Pvt. Ltd.

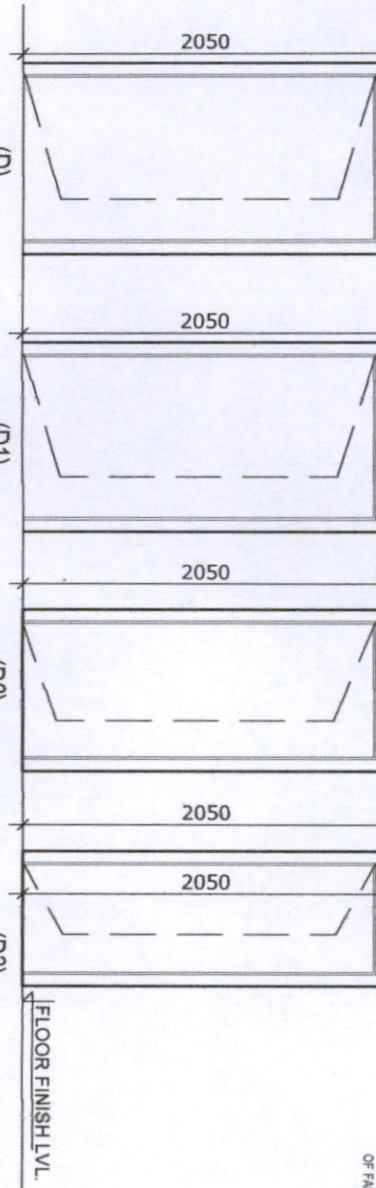
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D3	750	2000	0	0
D4	1400	2000	0	0
D5	1500	2000	0	0
D6	1800	2000	0	0
D7	1900	2000	0	0
D8	1800	2000	0	0
D9	2400	2000	0	0
D10	1800	1600	90	90
D11	3000	1600	90	90
D12	2500	1600	90	90
D13	3000	1600	110	110

PROJECT:
 WORKING DRAWING
 HOUSING - SKYTECH
 AT N.H. 24, CROSSING

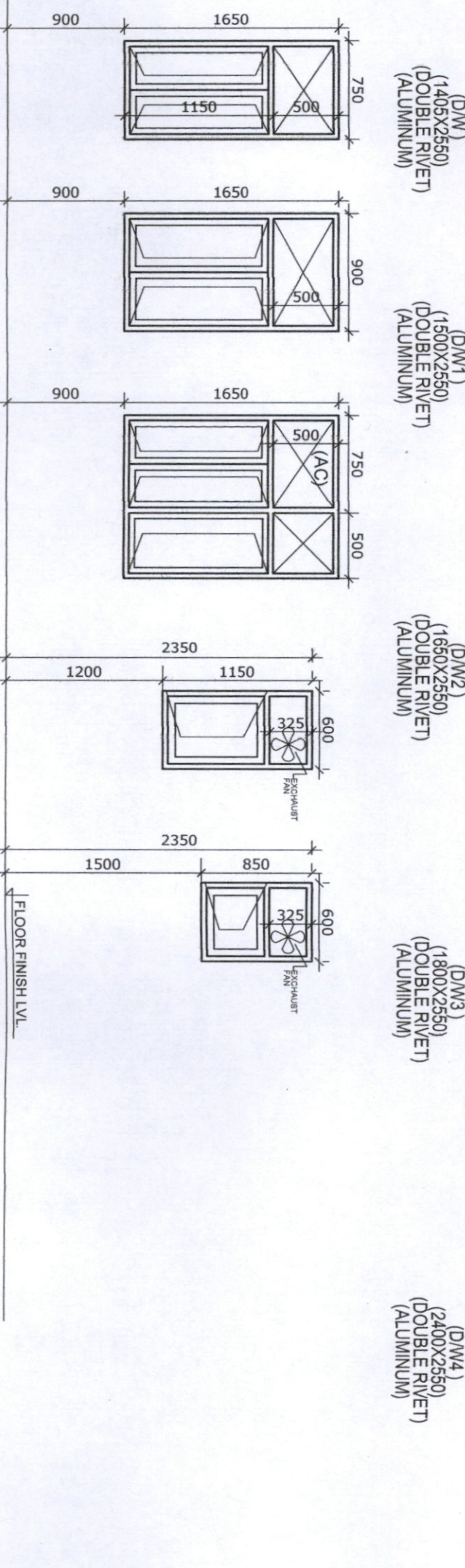
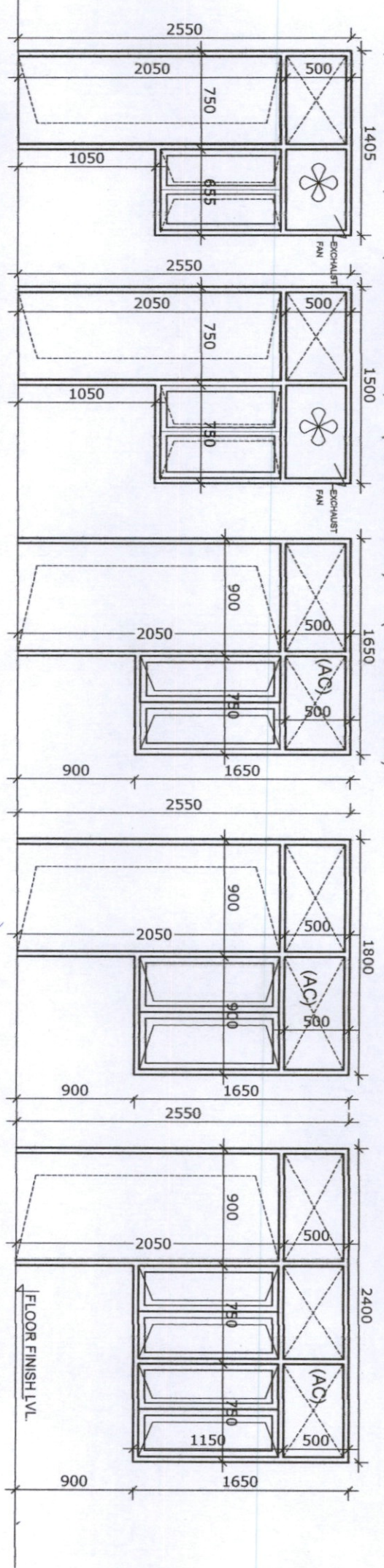
OWNER: SKYTECH

DRAWING TITLE:
 Door Wind
 Typical

architects, engineers, interior designers:
ANUJ AGARWAL
 C-50, N.H. 24, INDIA
 Mob. : 9810115992
 Ph: 451
 e-mail: anuj@anuj.com



D2	900	2050	0.0	2050	BED ROOM
D3	750	2050	0.0	2050	TOLLET
DW	1405	2550	0.0/1050	2550	KITCHEN
DW1	1500	2550	0.0/1050	2550	KITCHEN
DW2	1650	2550	0.0/900	2550	BED ROOM
DW3	1800	2550	0.0/900	2550	DRG./BED ROOM
DW4	2400	2550	0.0/900	2550	DRG. ROOM
W	750	1650	900	2550	SVT. ROOM WINDOW
W1	900	1650	900	2550	SVT. ROOM WINDOW
W2	1250	1650	900	2550	STUDY WINDOW
V	600	1150	1200	2350	TOLLET
V1	600	850	1500	2350	TOLLET



(DW)
(1405X2550)
(DOUBLE RIVET)
(ALUMINIUM)

(DW1)
(1500X2550)
(DOUBLE RIVET)
(ALUMINIUM)

(DW2)
(1650X2550)
(DOUBLE RIVET)
(ALUMINIUM)

(DW3)
(1800X2550)
(DOUBLE RIVET)
(ALUMINIUM)

(DW4)
(2400X2550)
(DOUBLE RIVET)
(ALUMINIUM)

(W)
(750X1650)
(DOUBLE RIVET)
(ALUMINIUM)

(W1)
(900X1650)
(DOUBLE RIVET)
(ALUMINIUM)

(W2)
(1250X1650)
(DOUBLE RIVET)
(ALUMINIUM)

(V)
(600X1150)
(DOUBLE RIVET)
(ALUMINIUM)

(V1)
(600X850)
(DOUBLE RIVET)
(ALUMINIUM)

SATISH MALIC
Auth. Signatory

For Skytech Construction Pvt. Ltd.

architects. engineers. landscape
ANU AGARWAL ARCH
Hall No-01, IInd, Floor,
C.S.-06, Gyan Khand -II, I
Mob. : - 981011
Ph.-+91 120 556
e-mail : arch_anujagarwal

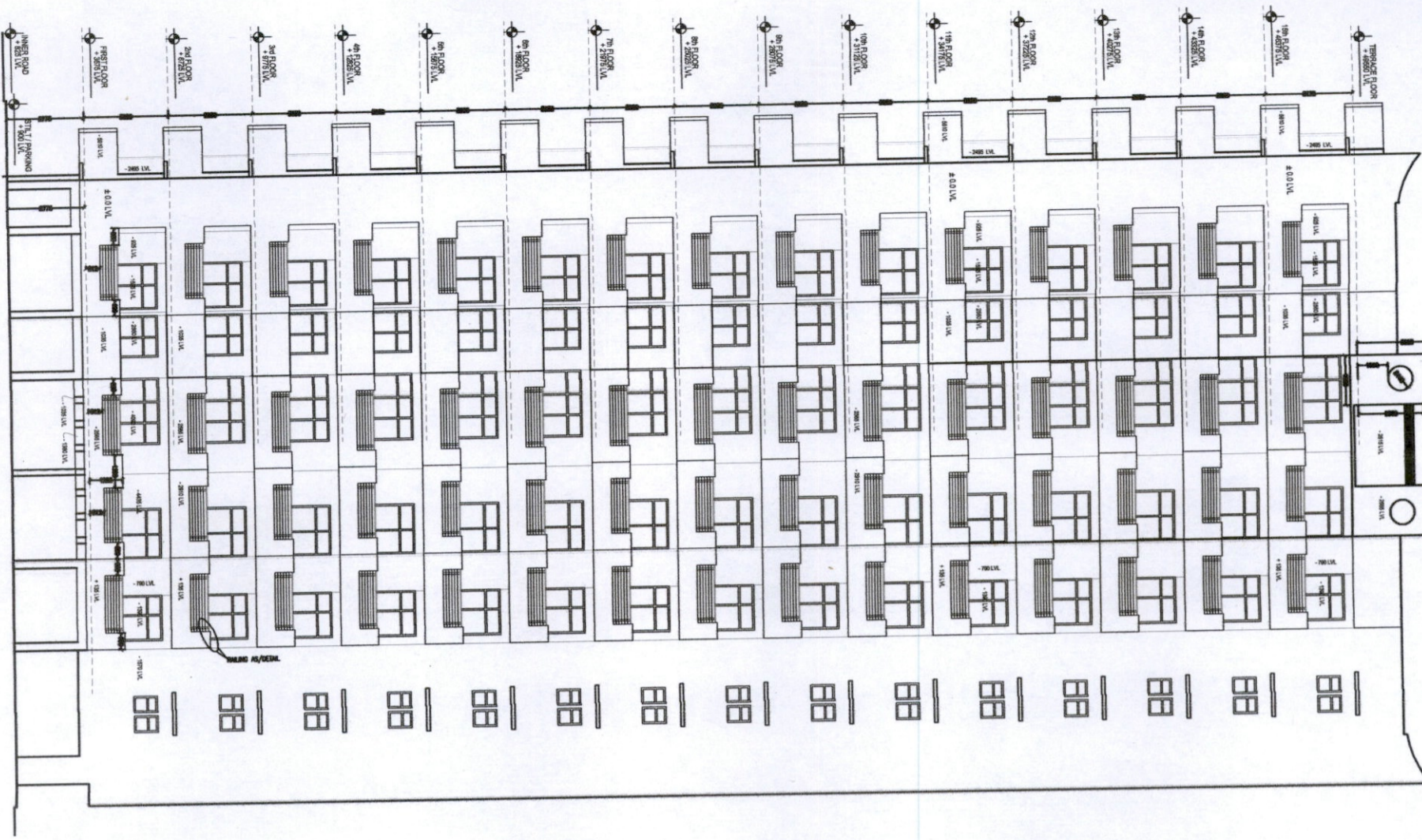


OWNER:-
SKYTECH MER
SCALE:
DATE: 07/01/2010
DRG. TITLE:-
DOOR / WINDOWS DETAIL

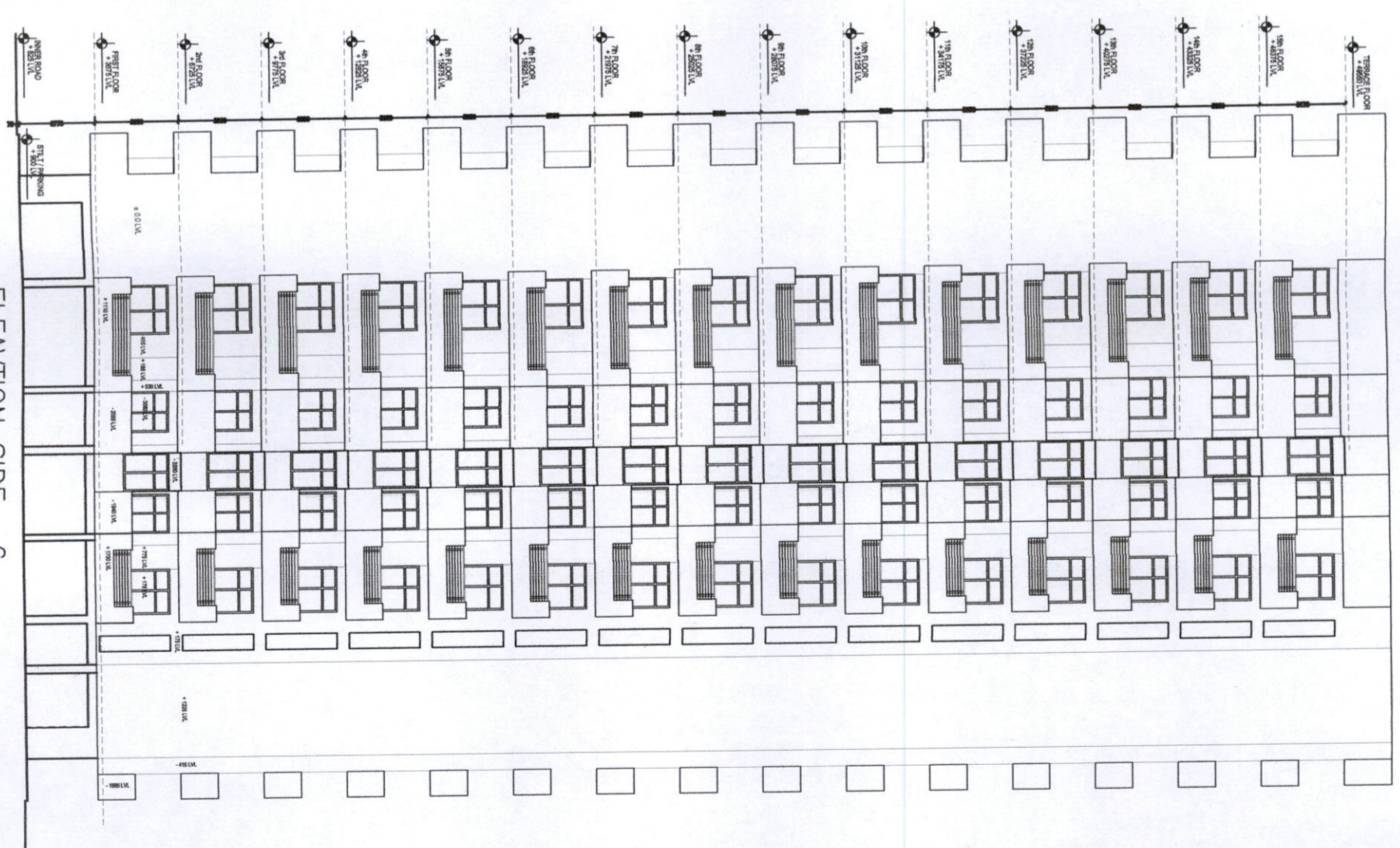
PROJECT:-
WORKING DRAWING FOR T
HOUSING " SKYTECH MERID
AT N.H. 24, CROSSING REP

REVISION NO. 1
R-1
DOOR HT. REVISED /
CLIENT REQUIREMENT

DESCRIPT
DEALT BY:
R K
CHECKED BY:
A.AGARWAL



ELEVATION SIDE -3

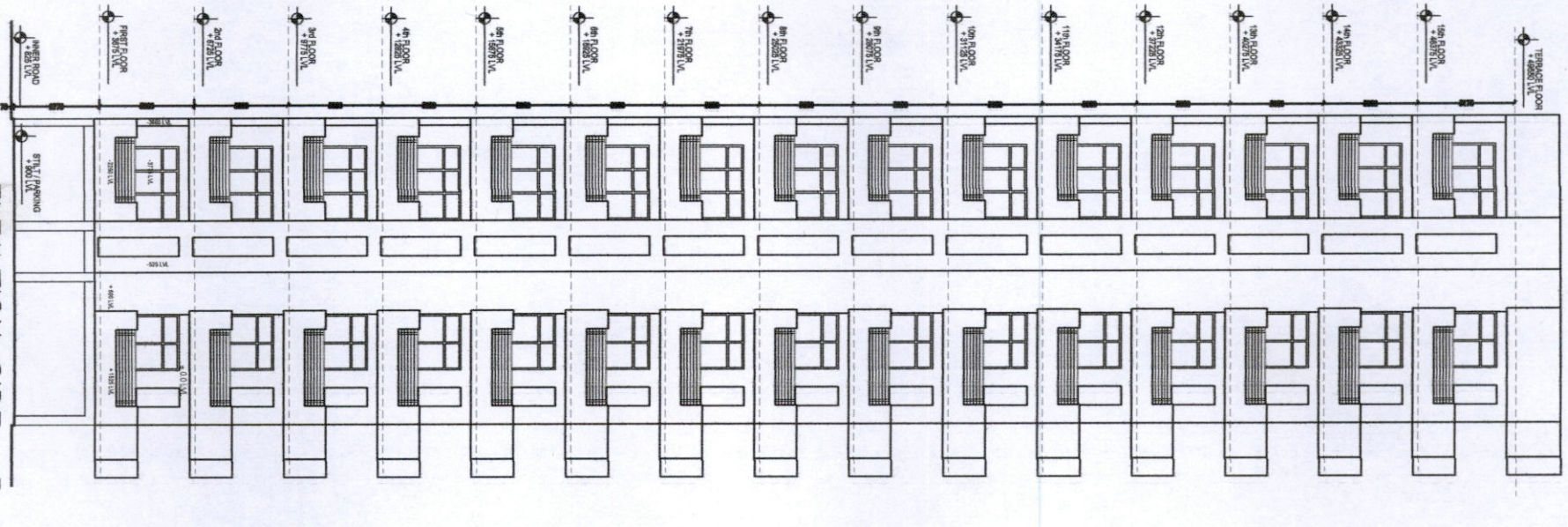


ELEVATION SIDE -6

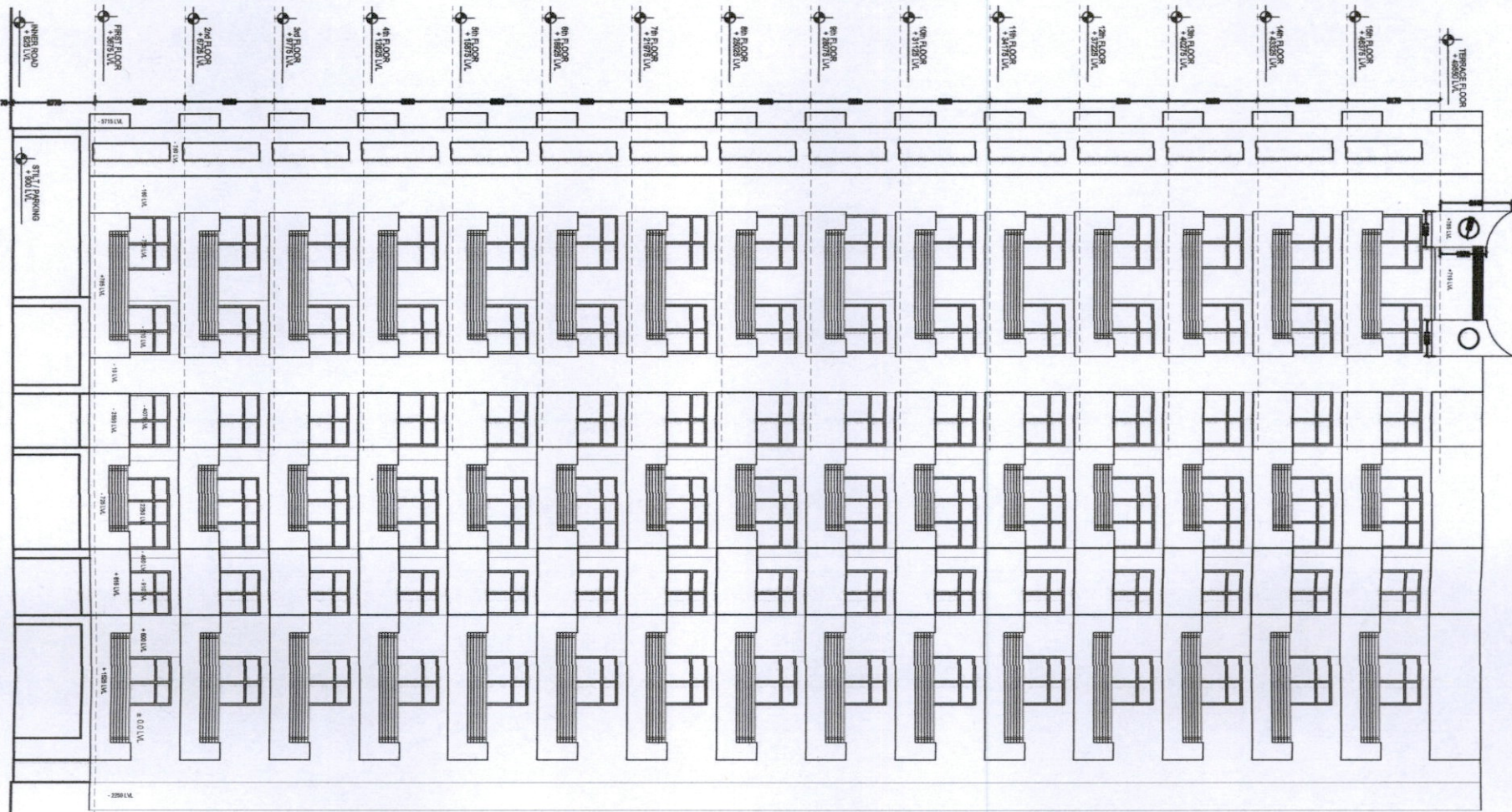
For Skytech Construction Pvt. Ltd.

architects: engineers, ANUJ AGARWAL Hall No-01, IInd C.S-06, Gyan Ki Mob.: - 9810119992 e-mail: anu.agn@anuj.com	ARCHITECT
	PROJECT: WORKING DRAWING HOUSING - SKYT AT NH. 24, CROSS
OWNER: SKYT	DRAWING TITLE: ELEVATION
Dwg. No. ELEVATION SI	DATE: SCALE: PROJECT:

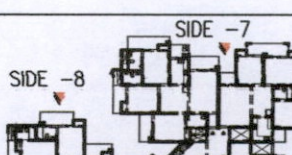
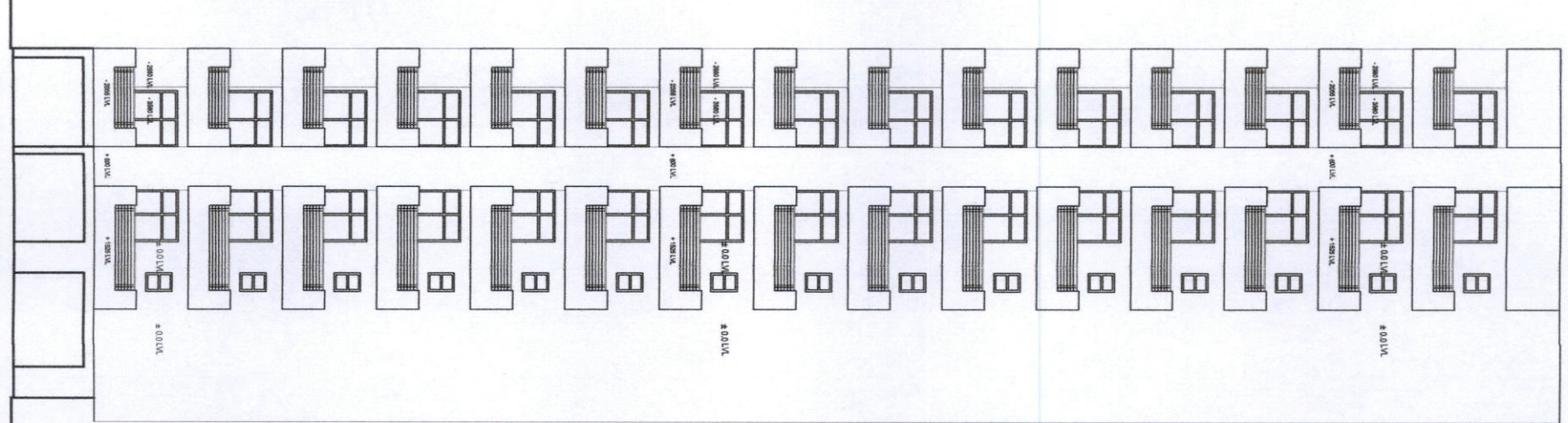
ELEVATION SIDE -5



ELEVATION SIDE -7



ELEVATION SIDE -8



Dwg.No.

OWNER: SKY
 DRAWING TITLE: ELEVATION
 PROJECT: WORKING DRAW HOUSING - SKY AT N.H. 24, CROSS

architects: engineers: ANUJ AGARWAL
 Hall No-01, Jind C.S.-06, Gyan Ki Mob.: -9810119992 Ph:+91 e-mail: anuj an

DATE: 24/08/2024
 DRAWING NO: 24/08/2024

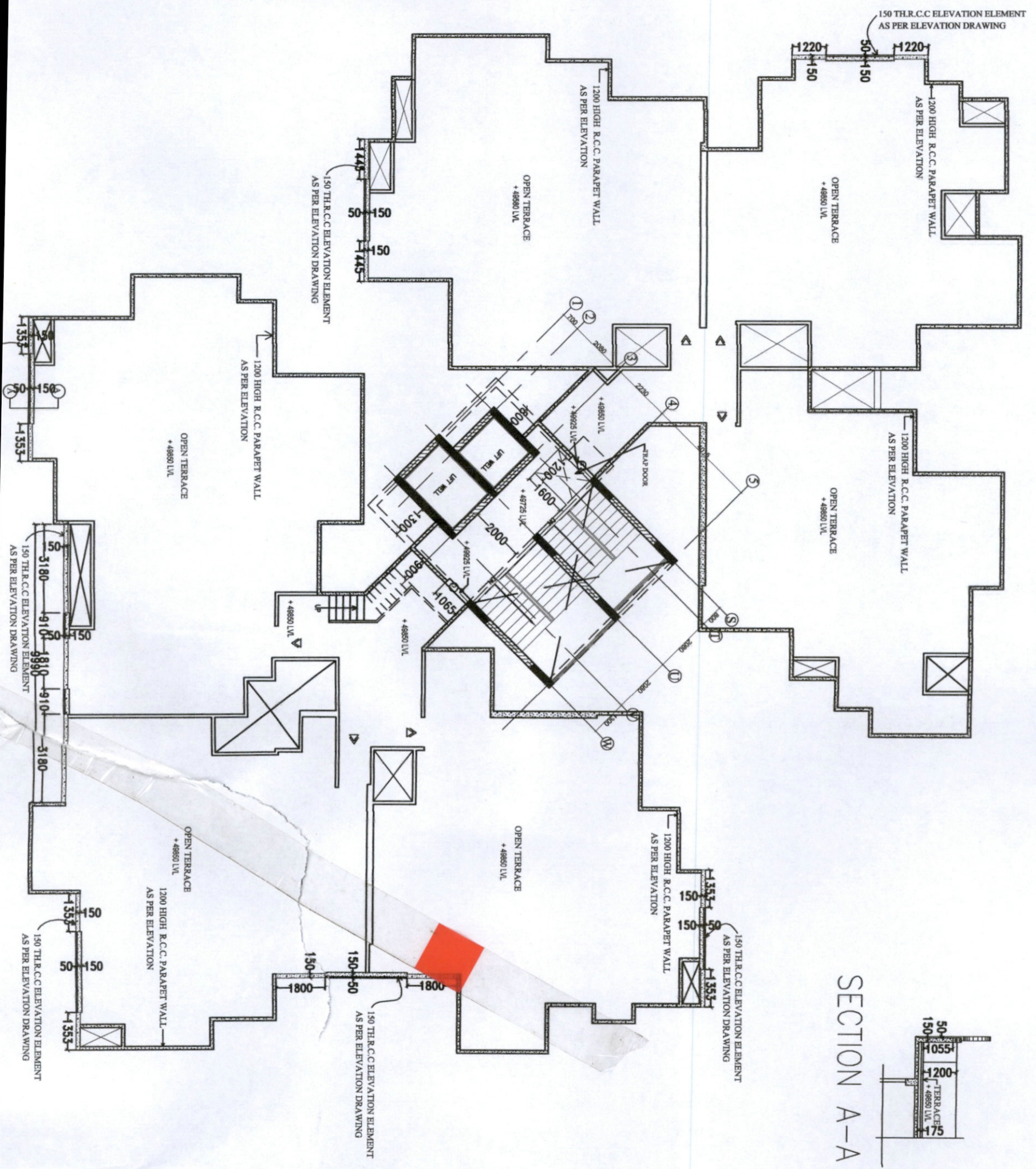
SCALE: 1:100

PROJECT: WORKING DRAW HOUSING - SKY AT N.H. 24, CROSS

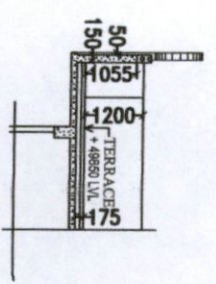
OWNER: SKY

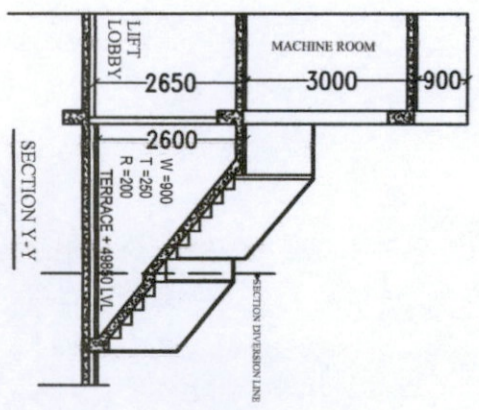
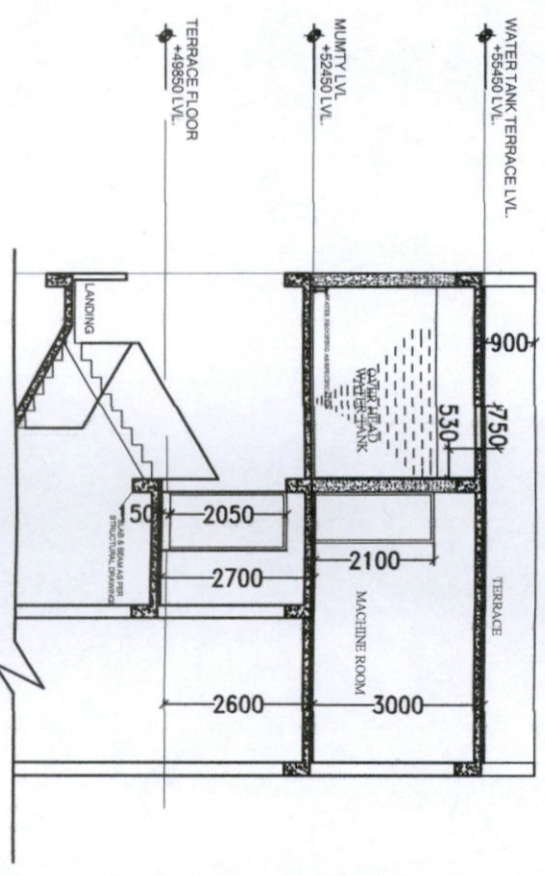
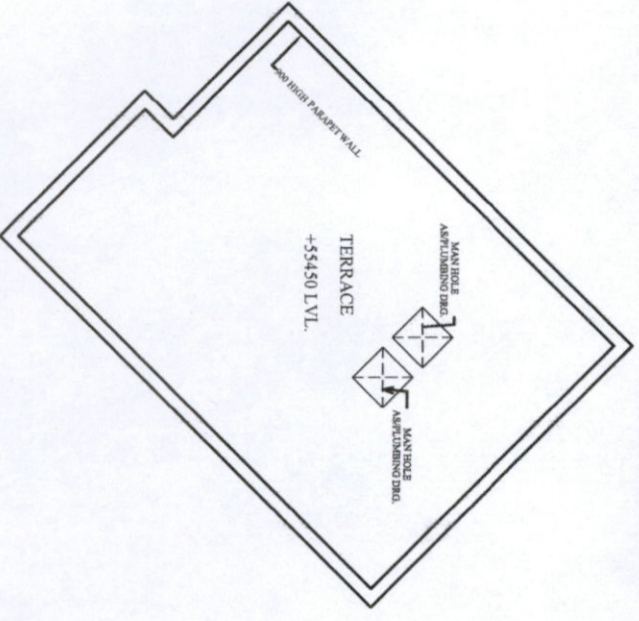
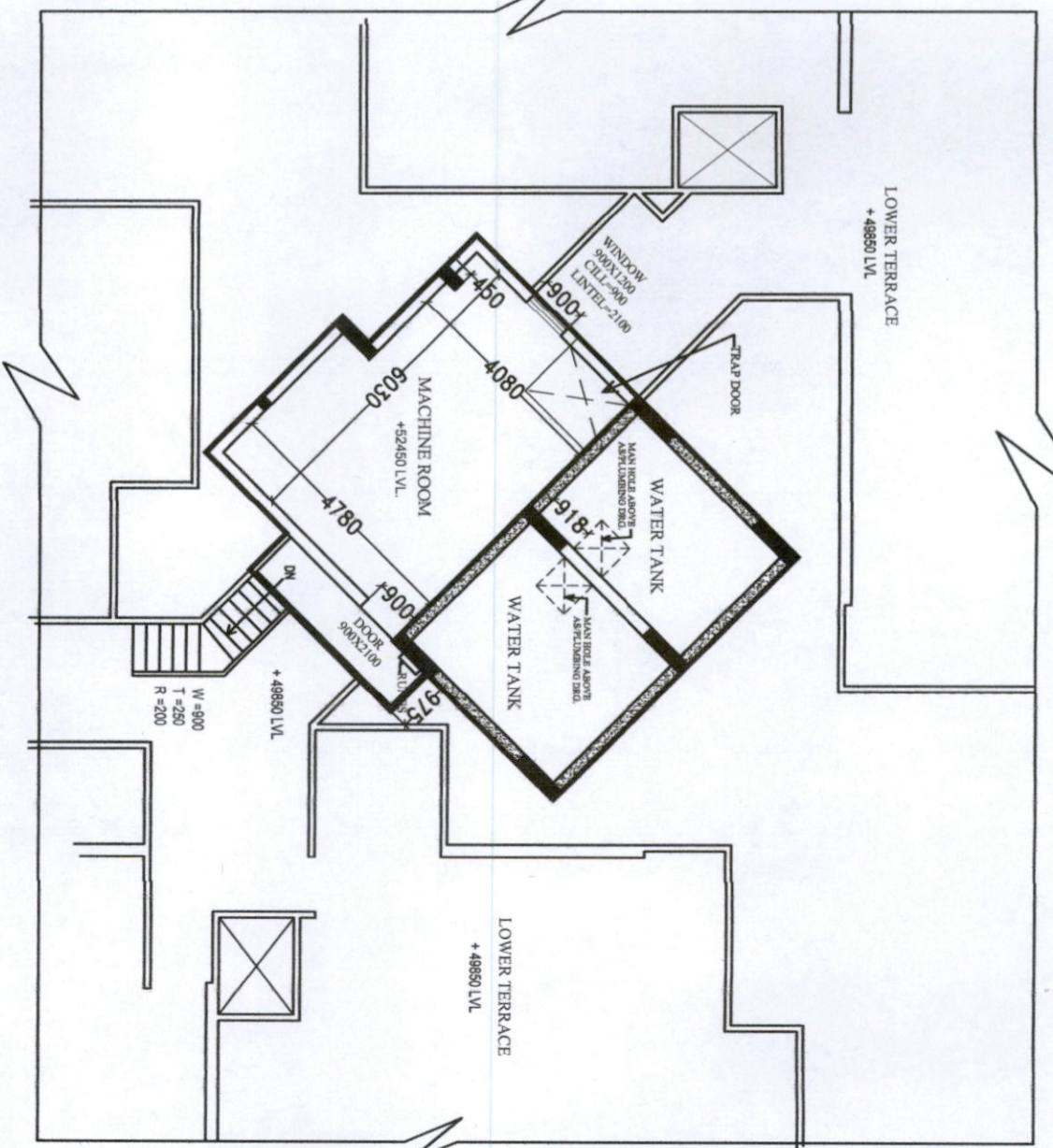
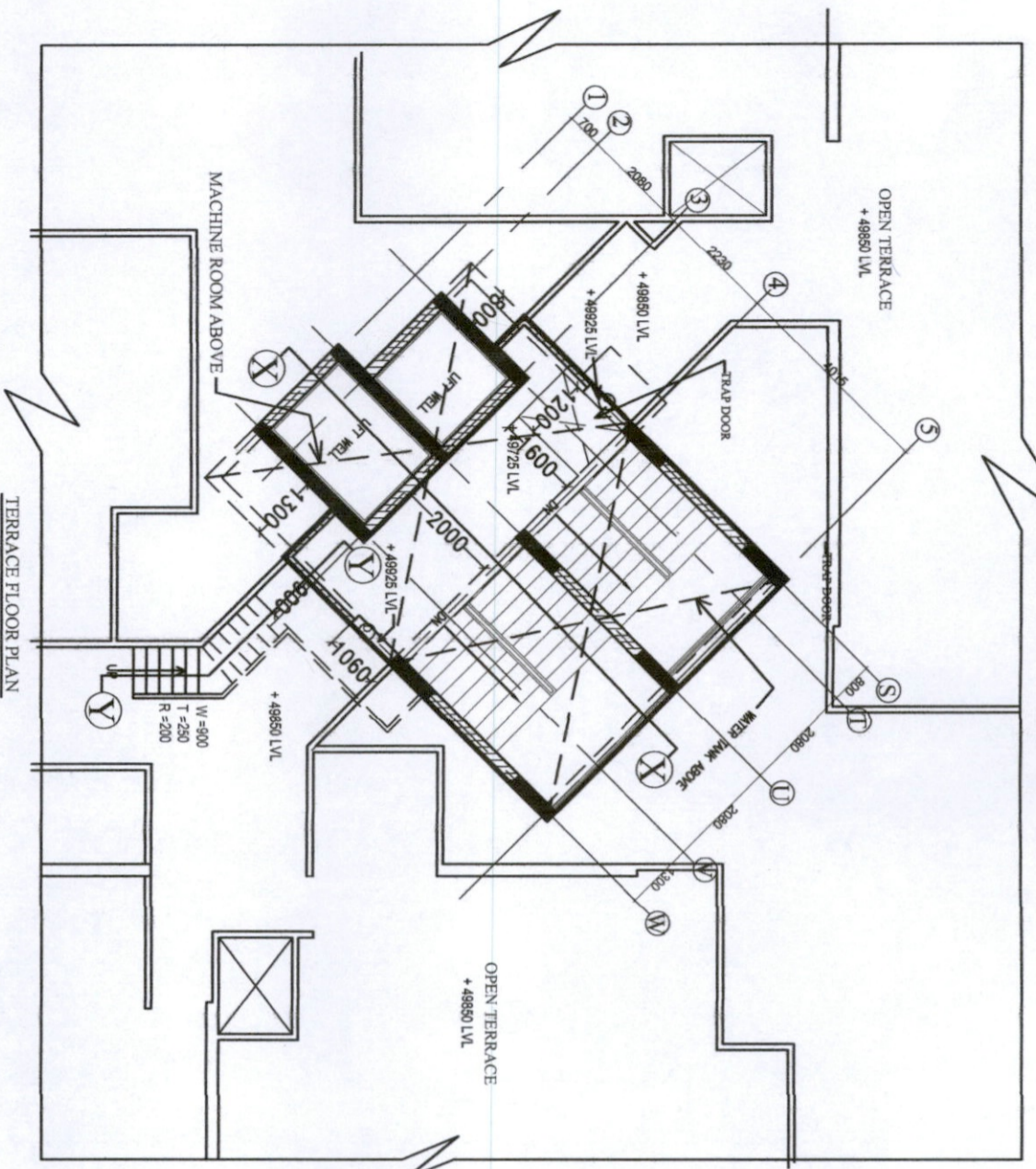
DRAWING TITLE: ELEVATION

PROJECT: WORKING DRAW HOUSING - SKY AT N.H. 24, CROSS



SECTION A-A



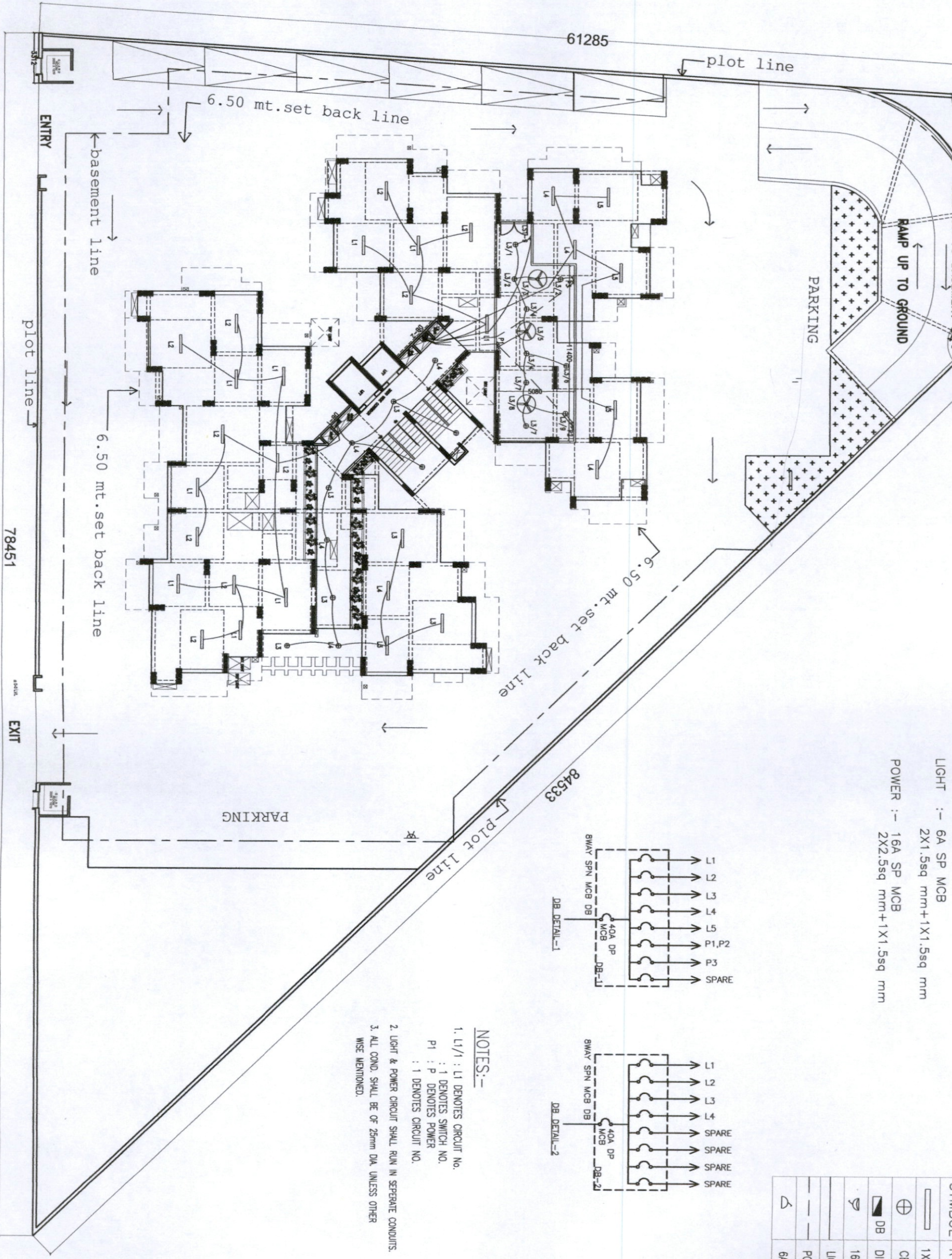


MACHINE ROOM & W.T. PLAN

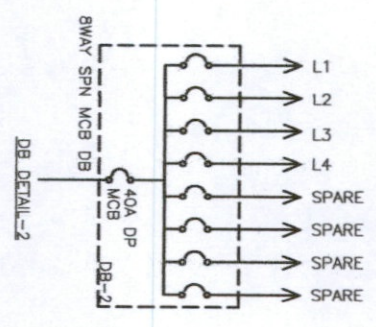
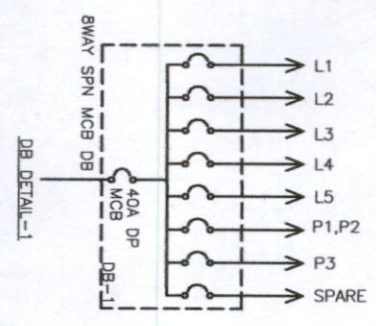
TERRACE FLOOR PLAN

MACHINE ROOM & W.T. TERRACE PLAN

ARCHITECTS	WORKING DRAWING
ANUJ AGARWAL	HOUSING - SKY
Architects, engineers,	AT NH, 24, CROSS
Hail No-01, IInd	WATER TANK
C.S.-06, Gyan K	
Mod.	
PROJECT:-	SKYTEC
REVISION NO.	
DATE: 23-02-11	
SCALE:	



LIGHT :- 6A SP MCB
 2X1.5sq mm+1X1.5sq mm
 POWER :- 16A SP MCB
 2X2.5sq mm+1X1.5sq mm



- NOTES:-**
1. L1/1 : L1 DENOTES CIRCUIT No.
 : 1 DENOTES SWITCH NO.
 P1 : P DENOTES POWER
 : 1 DENOTES CIRCUIT NO.
 2. LIGHT & POWER CIRCUIT SHALL RUN IN SEPARATE CONDUITS.
 3. ALL CONDUIT SHALL BE OF 25mm DIA. UNLESS OTHER WISE MENTIONED.

⊕	1X40 TUBE LIGHT
⊕	CEILING LIGHT
DB	DISTRIBUTION BOARD
⊕	16A 3 PIN SOCKET WITH LIGHT CONDUIT
---	POWER CONDUIT
⊕	6A 3 PIN SOCKET WITH

CONSULTANT:-
 GIAN CON
 ELECTRICAL E
 1352-1, STREE
 NEW DELHI
 PH:32950939
 E-MAIL:-gildanc

architects engine
 ANUJ AGARW
 Hill No-01
 C.S.-08, GY
 Mod :- 981017
 E-MAIL:-gildanc

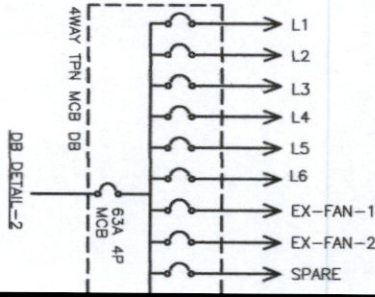
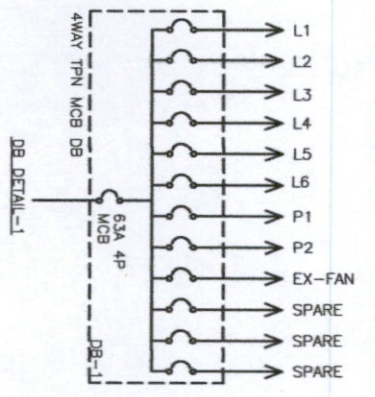
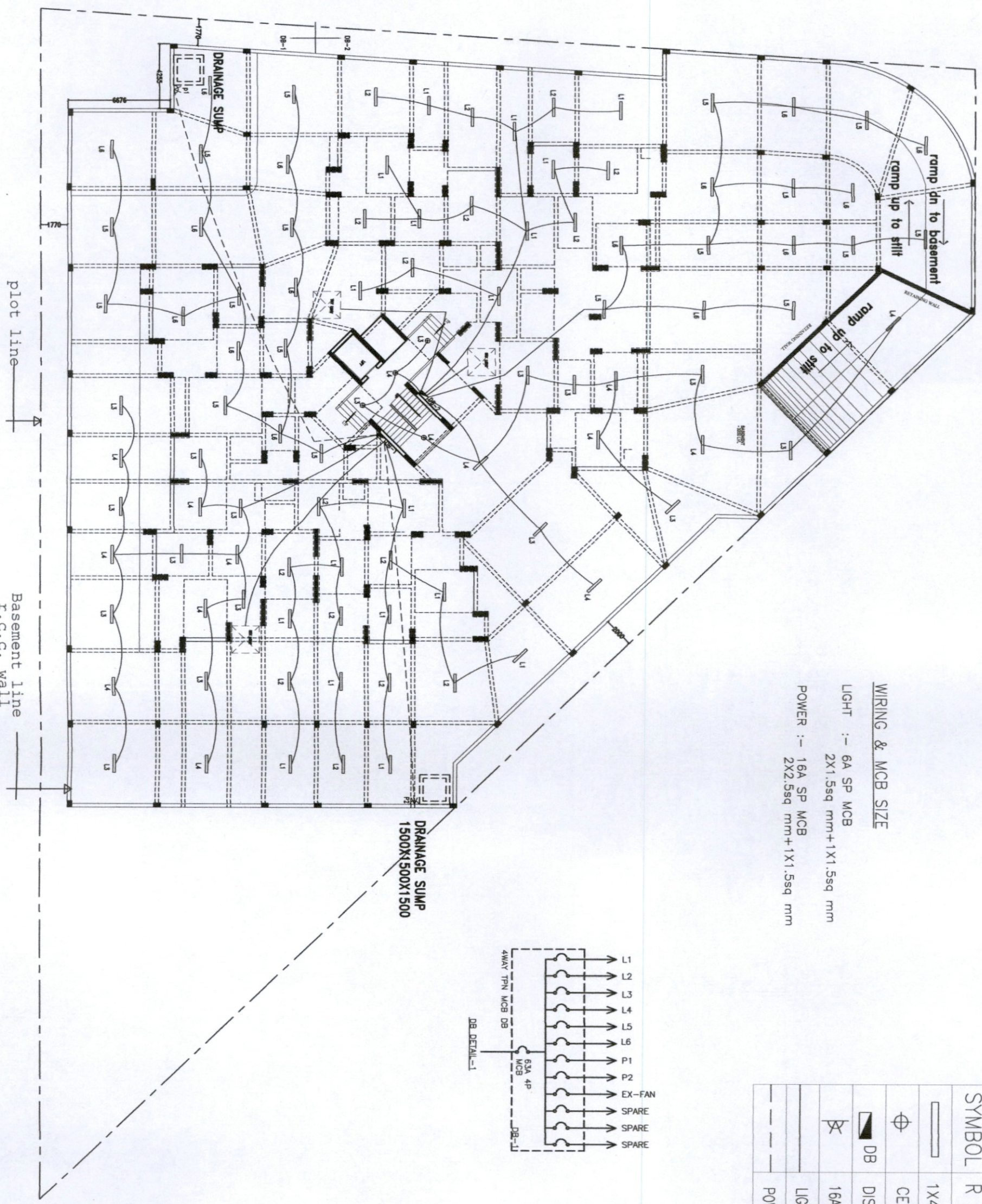
PROJECT:-
 WORKING D
 HOUSING *
 AT N.H. 24, OF

OWNER
 DRAWING TITLE
 ELECTRICAL

SCALE

SYMBOL	REFERENCE
	1X40 TUBE LIGHT
	CEILING LIGHT
	DB
	16A 3 PIN SOCKET WITH SWITCH
	LIGHT CONDUIT
	POWER CONDUIT

WIRING & MCB SIZE
 LIGHT :- 6A SP MCB
 2X1.5sq mm+1X1.5sq mm
 POWER :- 16A SP MCB
 2X2.5sq mm+1X1.5sq mm



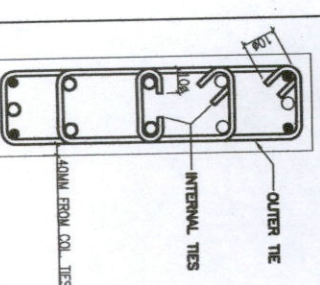
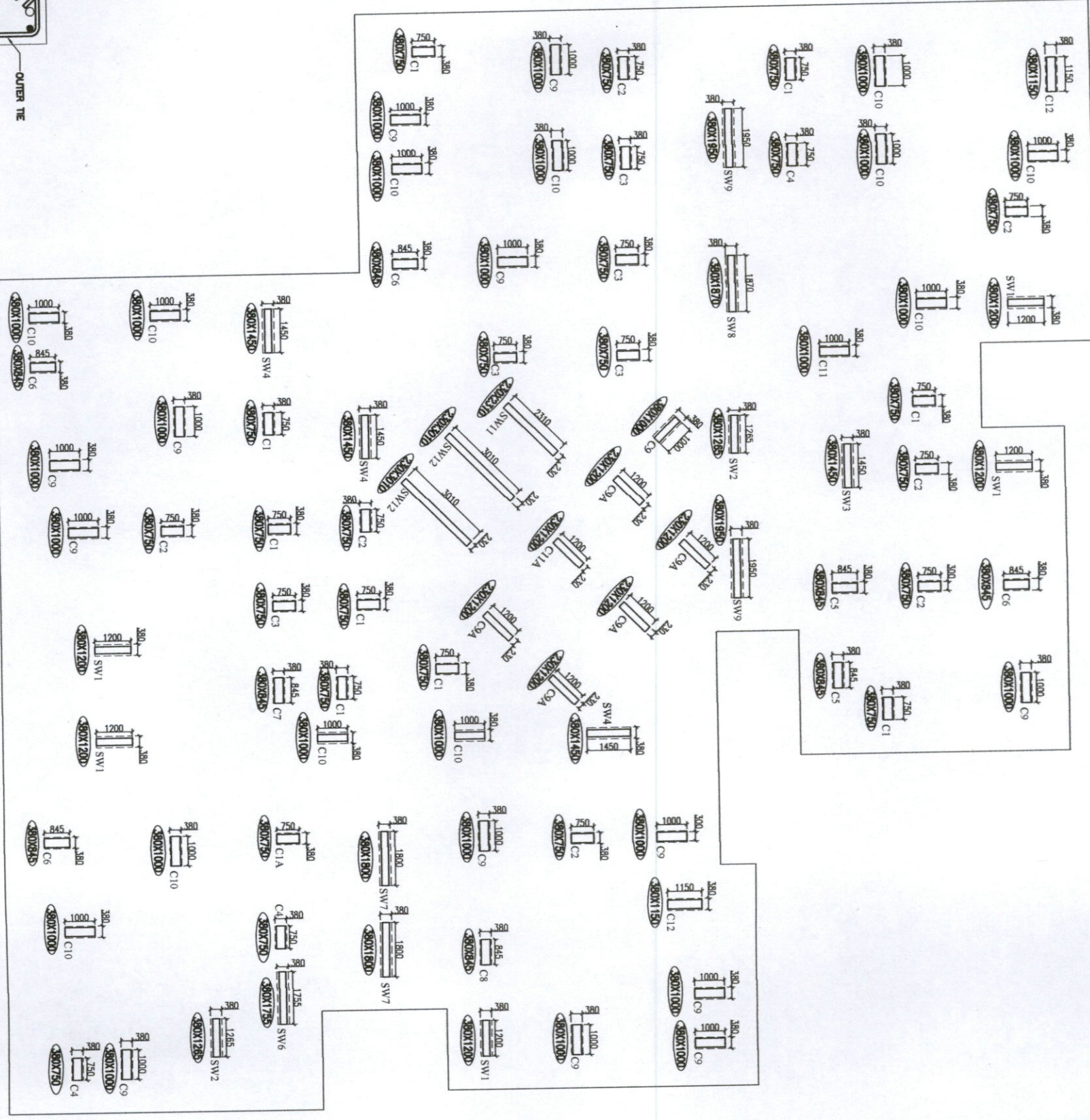
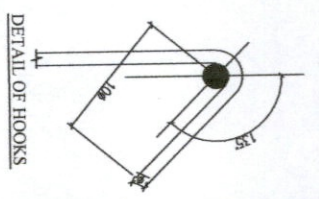
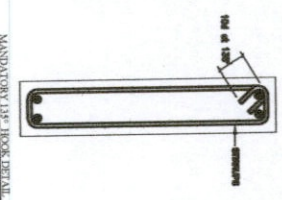
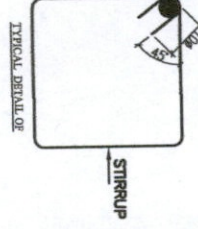
architects: engineers, interior designers
ANUJ AGARWAL
 Hall No-01, IInd
 C.S.-05, Gyan Ksh
 Mob. :- 9810118922
 Ph:-91
 E-mail :- anuj@anuj.com

CONSULTANT :-
CIAN CONSULTANTS
 ELECTRICAL ENG. &
 1322/1, STREET-13, G
 NEW DELHI
 Ph:32969839

OWNER: SKYT
 DRAWING TITLE: ELECTRICAL
 PROJECT: WORKING DRAWING HOUSING SCHEME AT N.H.24, CROSS

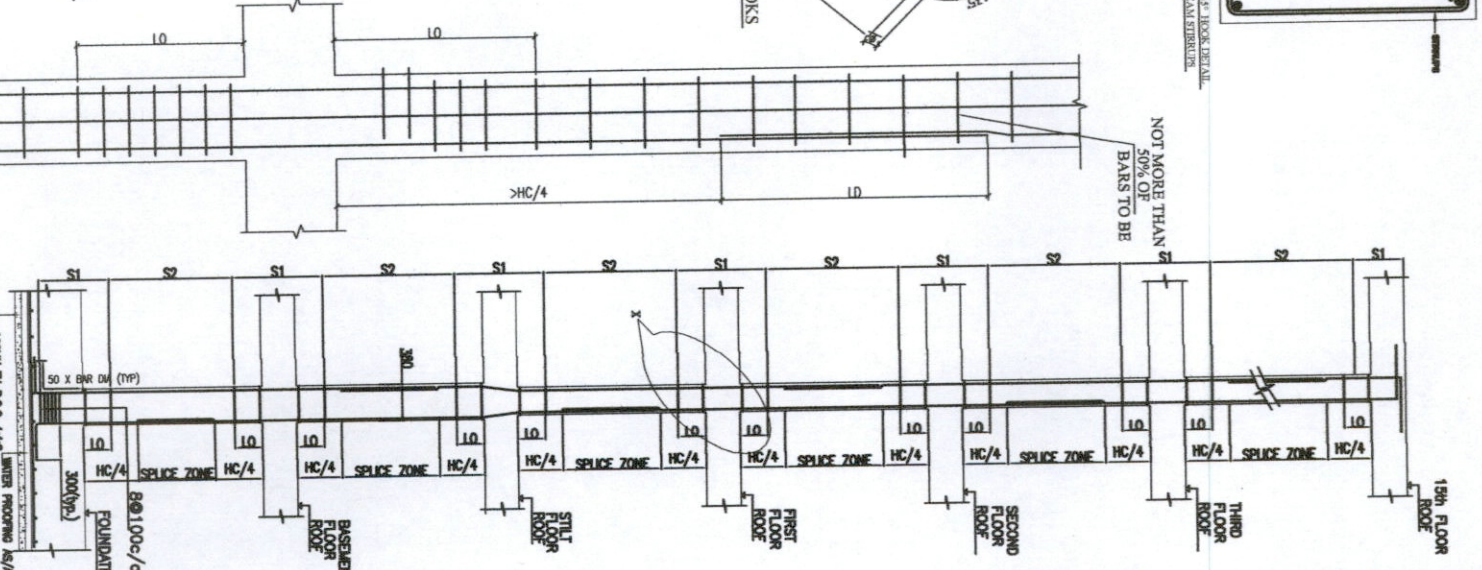
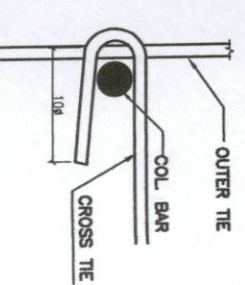
DATE: 20/08/2024
 DRAWN BY: ANUJ
 CHECKED BY: ANUJ
 PROJECT: HOUSING SCHEME AT N.H.24, CROSS

- MAX LATERAL DIMENSION OF COLUMN
- Hc/6
- 450mm
- 52 - TIES AS PER COLUMN SCHEDULE.
- 100 C/C
- 150mm C/C
- TIES SHALL BE SPACED AT 150mm C/C OR SPACING OF S2, WHICHEVER IS LESS OVER THE LAP LENGTH OF Ld IN SPLICE ZONE. DIAMETER AND NO OF SETS SHALL BE SAME AS S2.
- DEVELOPMENT LENGTH 'Ld' SHALL BE 33 TIMES DIA OF BAR. FOR CON. MIX:-M:35
- MAXIMUM OF 50% OF BARS SHALL BE SPLICED AT ONE SECTION.



S.NO	PARTICULARS	COLOR	SYMBOL
1.	FOUNDATION TO STILL ROOF COLUMN & SHEAR WALL 300 THICK	MESGENTA	[Symbol]
2.	TYPICAL AREA COLUMN 300 THICK SHEAR WALL 230 THICK	WHITE	[Symbol]
3.	LFT AREA SHEAR WALL 230 THICK	WHITE	[Symbol]

BUILDING HAS BEEN DESIGN FOR BASEMENT +STILT+15 STOREYS



PROJECT:- DESIGN OF RE A-11 AT PLOT REPUBLIC DUNN

DATE: 23-10-2009

OWNER:- ANUJ AGAL

ARCHITECTS:- ANUJ AGAL

SCALE: [Blank]

DATE: [Blank]

DRAWN: [Blank]

CHECKED: [Blank]

CONSULTANTS:- [Blank]

20/335 WASUNDHAR CONSULTING

PHONE:-0120-645454

212 LOCATION OF CONSTRUCTION AND DESIGNER OF CONSTRUCTION ARE SHOWN IN THE ATTACHED MAP. THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

213 THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

214 THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

215 THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

216 THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

217 THE DESIGNER OF CONSTRUCTION IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE DESIGNER OF CONSTRUCTION IS NOT RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE.

SHAPE	COLUMN NO.	TIERS	MAIN BARS	SIZE	TIERS
	C1		10-200	380X750	80@150c/c (3 sets)
	C1A		6-320(b)+4-250	380X750	80@150c/c (3 sets)
	C2		6-250(b)+4-200	380X750	80@150c/c (3 sets)
	C3		10-250	380X750	80@150c/c (3 sets)
	C4		10-250(b)+4-200	380X750	80@150c/c (4 sets)
	C5		10-200	380X845	80@150c/c (3 sets)
	C6		10-250	380X845	80@150c/c (3 sets)
	C7		6-320(b)+4-250	380X845	80@150c/c (3 sets)
	C8		10-200	380X845	80@150c/c (3 sets)
	C9		14-200	380X1000	80@150c/c (4 sets)
	C10		10-250(b)+4-200	380X1000	80@150c/c (4 sets)
	C11		14-250	380X1000	80@150c/c (4 sets)
	C12		14-200	380X1150	80@150c/c (4 sets)

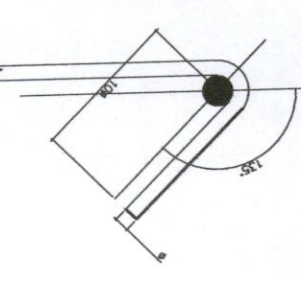
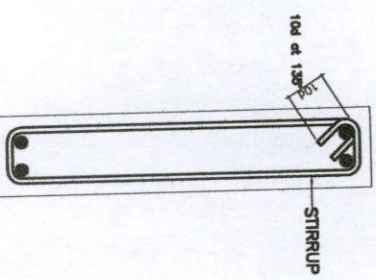
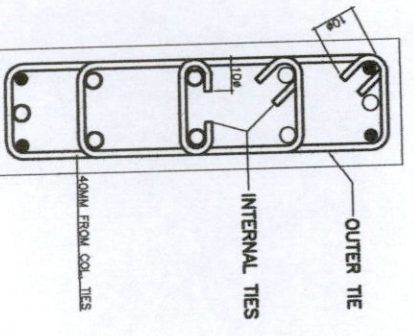
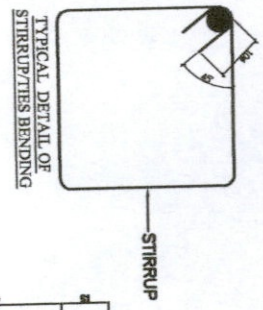
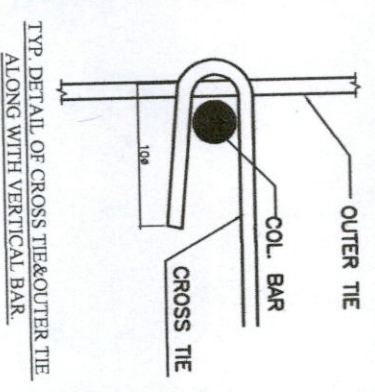
SHEAR WALL UP FOUNDATION TO STILLT FLOOR ROOF
 CONC. MIX. SHALL BE M-35 FOR SHEAR WALL.

SHAPE	COLUMN NO./S. WALL	TIERS	MAIN BARS	SIZE	TIERS
	SW1		16-320	380X1200	80@150c/c (5 sets)
	SW2		10-320(b)+4-250	380X1265	80@150c/c (4 sets)
	SW3		10-320(b)+6-250	380X1450	80@150c/c (3 sets)
	SW4		20-320	380X1450	80@150c/c (6 sets)
	SW6		22-320	380X1755	80@150c/c (6 sets)
	SW7		22-320(b)+2-200	380X1800	80@150c/c (7 sets)
	SW8		18-320(b)+4-250	380X1870	80@150c/c (6 sets)

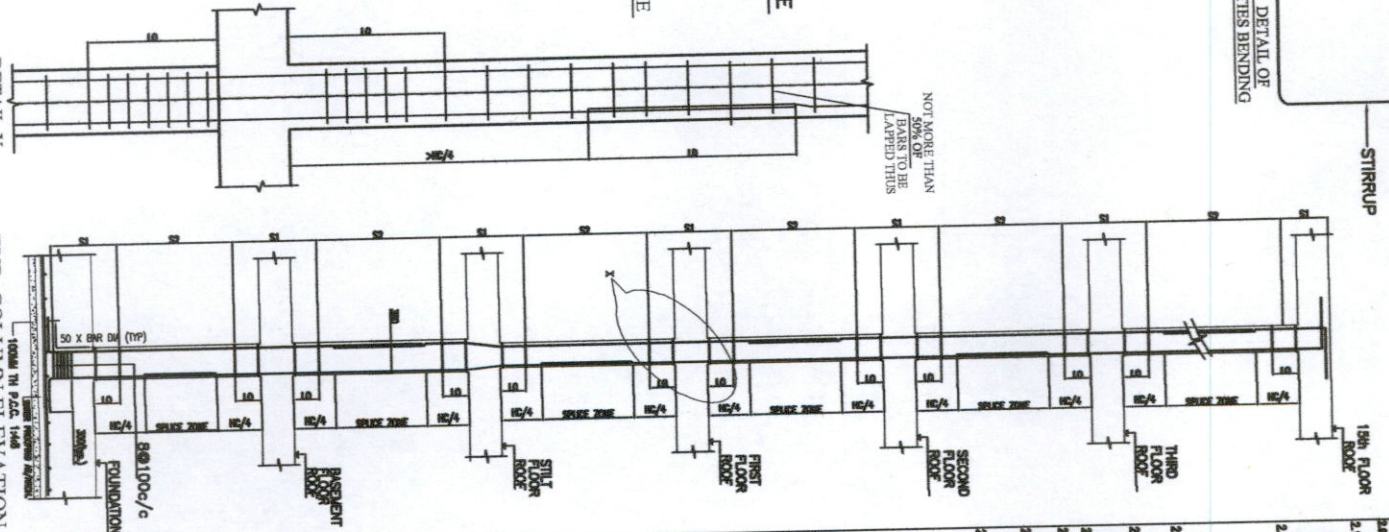
SHEAR WALL UP FOUNDATION TO STILLT FLOOR ROOF
 CONC. MIX. SHALL BE M-35 FOR SHEAR WALL.

SHAPE	COLUMN NO./S. WALL	TIERS	MAIN BARS	SIZE	TIERS
	C.MIX M-35		22-320(b)+2-200	380X1950	80@150c/c (7 sets)
	C.MIX M-35		12-320(b)+10-250	230X2310	80@150c/c (7 sets)
	C.MIX M-35		26-320	230X3010	80@150c/c (8 sets)
	C.MIX M-35		8-320(b)+4-200	230X1200	80@150c/c (4 sets)
	C.MIX M-35		8-320(b)+4-200	230X1200	80@150c/c (4 sets)

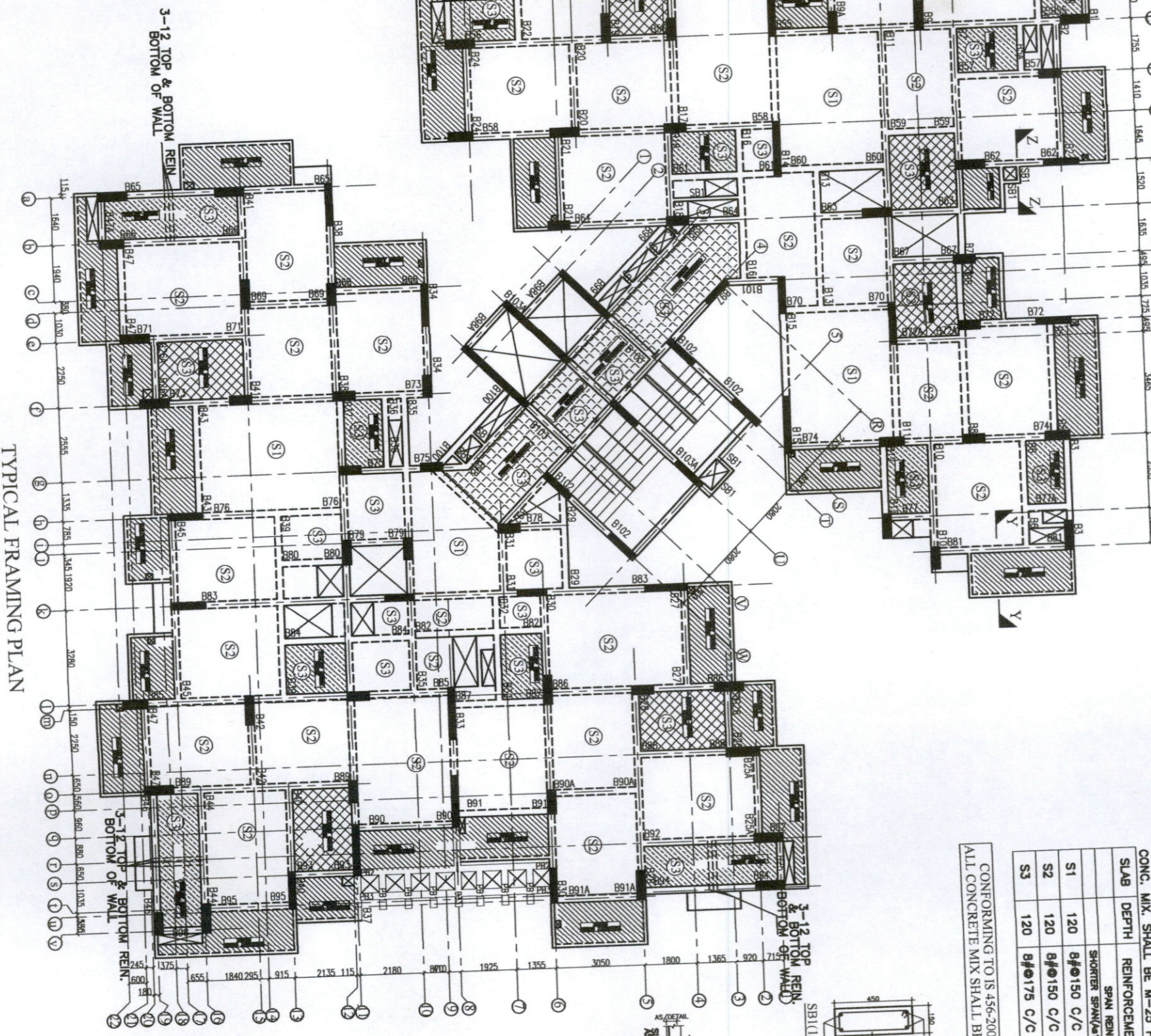
BUILDING HAS BEEN DESIGN
 FOR BASEMENT +STILL+15
 STOREYS



- NOTE ON CURTAILMENT DETAILS OF COLUMNS
- Hc IS CLEAR COLUMN HEIGHT.
 - Ld IS GREATER OF
 a) MAX LATERAL DIMENSION OF COLUMN
 b) Hc/6
 c) 450mm
 - S2 - TIERS AS PER COLUMN SCHEDULE.
 - TIERS SHALL BE SPACED AT 150mm/c/c OR SPACING OF S2, WHICHEVER IS LESS OVER THE LAP LENGTH OF Ld IN SPLICE ZONE. DIAMETER AND NO OF SETS SHALL BE SAME AS S2.
 - DEVELOPMENT LENGTH 'Ld' SHALL BE 33 TIMES DIA OF BAR. FOR CON. MIX-M:35
 - MAXIMUM OF 50% OF BARS SHALL BE SPLICED AT ONE SECTION.



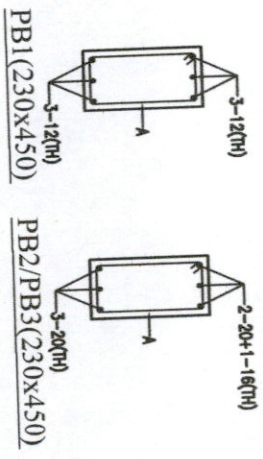
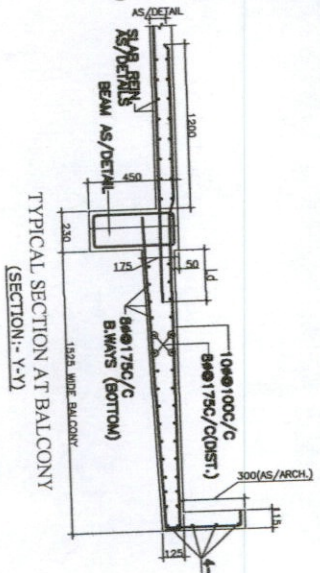
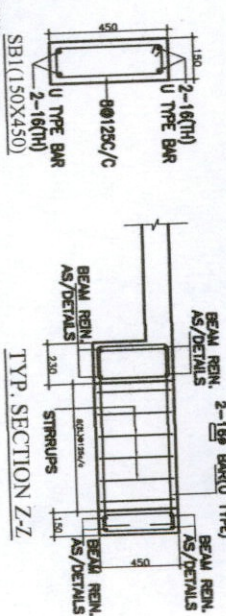
PROJECT:- DESIGN OF 15 STOREY BUILDING AT P. REPUBLIC DUN
 ARCHITECTS:- ANU AGAR
 OWNER:-
 SCALE
 DATE
 DRAWN
 CHECKED
 CONSULTANTS:-
 OPI CONSULTING
 2C/335, VASUNDH
 PHONE:-0120-6-
 email: optimund



TYPICAL FRAMING PLAN

CONFORMING TO IS 456-2000.
ALL CONCRETE MIX SHALL BE M-25

SLAB	DEPTH	REINFORCEMENT	REINFORCEMENT AT SUPPORT(TOP)
S1	120	SHORTER SPAN(AS1) LONGER SPAN(AS2)	SHORT SPAN(AS3/AS4) LONG SPAN(AS5/AS6)
S2	120	8#150 C/C	8#125 C/C
S3	120	8#150 C/C	8#150 C/C



LEGEND

S.NO	PARTICULARS	SYMBOL
1.	ALL BALCONY 50 M.M. SUNKEN SHOWN THUS-----	[Hatched pattern]
2.	ALL TOILET 50 M.M. SUNKEN SHOWN THUS-----	[Hatched pattern]
3.	ALL KITCHEN 50 M.M. SUNKEN SHOWN THUS-----	[Hatched pattern]
4.	CORRIDOR 50 M.M. SUNKEN SHOWN THUS-----	[Hatched pattern]

NOTE:-
ALL BEAMS SIZES ARE 230X450 THK.U.N.O.

For Skytech Construction Pvt. Ltd.

PROJECT:- FRAMING P

OWNER:- SKY MERIT

ARCHITECTS:- ANJU AGA

DATE: 20-01-2010

SCALE: DRAWN

CHECKED

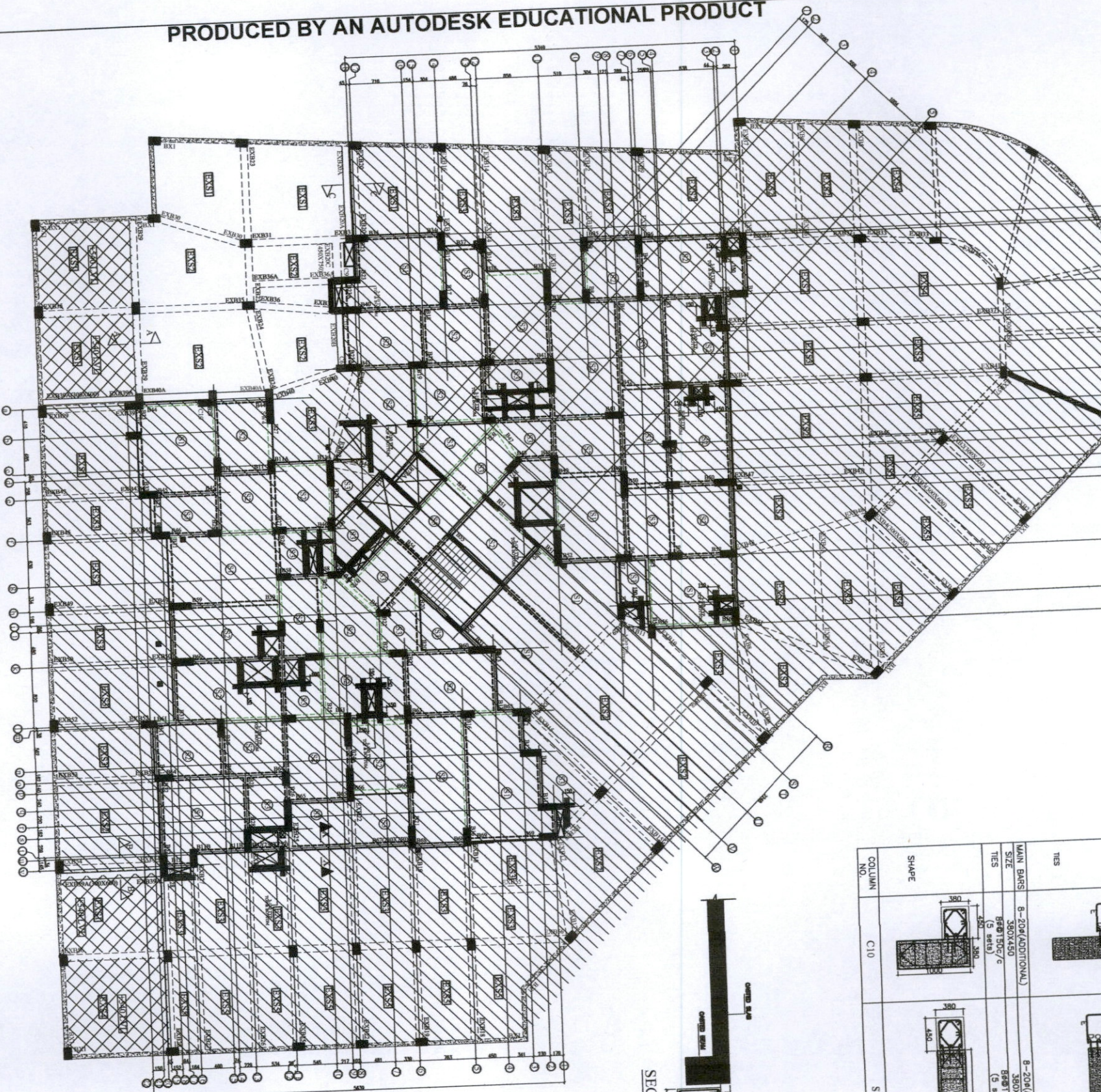
CONSULTANTS:-

2C/335,VASUNDI
PHONE:-0120-6
email: optimum

OP
CONSULT

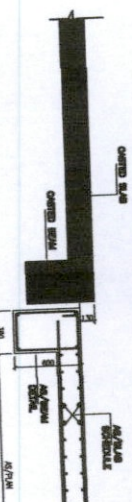
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FRAMING PLAN TOWER & NONE TOWER AREA

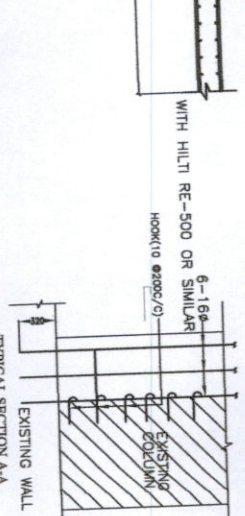


TIES	SHAPE	COLLUMN NO.	REINFORCEMENT
8-20#(ADDITIONAL)		C10	8-20#(ADDITIONAL)
380X450 8#@150c/c (5 sets)		SW4	380X450 8#@150c/c (5 sets)
8-20#(ADDITIONAL)		C6	8-20#(ADDITIONAL)
380X450 8#@150c/c (5 sets)		C9	380X450 8#@150c/c (5 sets)
8-20#(ADDITIONAL)		C1	8-20#(ADDITIONAL)
380X450 8#@150c/c (5 sets)		C1	380X450 8#@150c/c (5 sets)

SEC-C-C



TYPICAL SECTION A-A

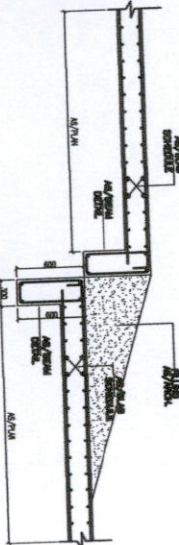


SCHEDULE OF SLAB
CONC. MIX. SHALL BE M-25 FOR SLAB

SLAB	DEPTH	REINFORCEMENT	REINFORCEMENT AT SUPPORTS
ES1	220	12#@150C/C SHORTER SPAN/(A1)	12#@150C/C LONGER SPAN/(A2)
ES2	220	12#@150C/C	12#@150C/C
ES3	220	12#@150C/C	12#@150C/C
ES4	160	10#@150 C/C	10#@125 C/C
ES5	150	10#@150 C/C	10#@125 C/C
S1	150	8#@150 C/C	8#@150 C/C
S2	150	8#@150 C/C	8#@150 C/C
S3	150	8#@175 C/C	8#@175 C/C

CONFORMING TO IS 456:2000
ALL CONCRETE MIX SHALL BE M-25

SEC-B-B



SEC-A-A



1. ALL DIMENSIONS SHOWN ON THIS DRAWING ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. REINFORCED CEMENT CONCRETE SHALL BE USED FOR ALL STRUCTURAL MEMBERS.
3. THE MIX PROPORTION SHALL BE M-25.
4. ALL REINFORCEMENT SHALL BE AS PER IS 1786.
5. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER BENDS AND LAP LENGTHS.
6. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER TIES.
7. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER ANCHORS.
8. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER DEVELOPMENT LENGTHS.
9. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER LAP SPACING.
10. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER TIE SPACING.
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49. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER LAP SPACING.
50. ALL REINFORCEMENT SHALL BE PROVIDED WITH PROPER TIE SPACING.

PROJECT:- WORKING DRAWING FOR HOUSING "SKYTECH" AT NH. 24, CROSSIN

OWNER:- SKYTECH

ARCHITECTS:- ANUJ AGA

SCALE:-

DATE:- 01/09/12

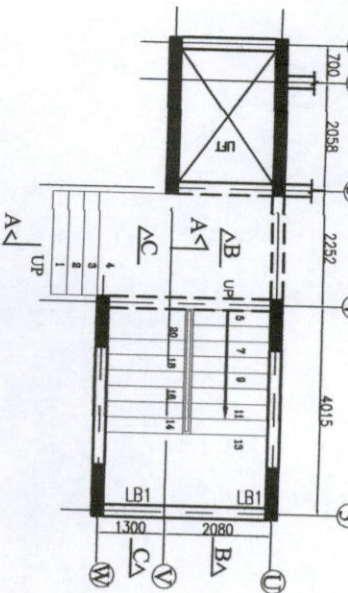
DRAWN:-

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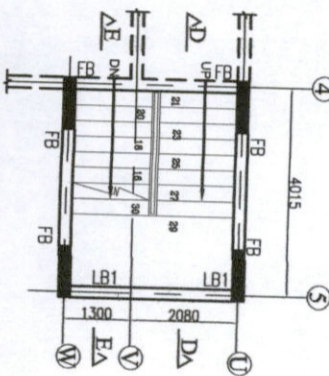
CONSULTANTS:-

OPT DE CONSULTING

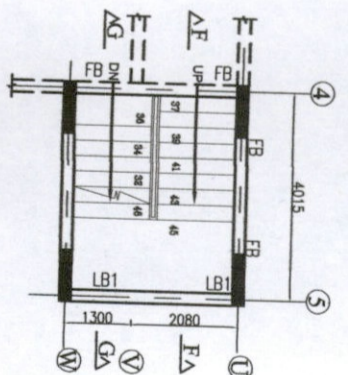
335, VASUNDHARA



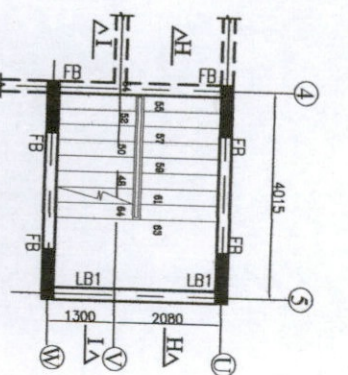
PLAN OF STAIR CASE AT
BASEMENT FLOOR



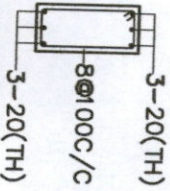
PLAN OF STAIR CASE AT
STILL FLOOR



PLAN OF STAIR CASE AT
FIRST FLOOR



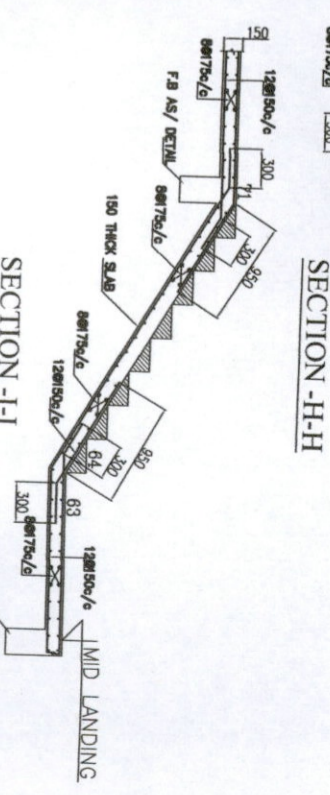
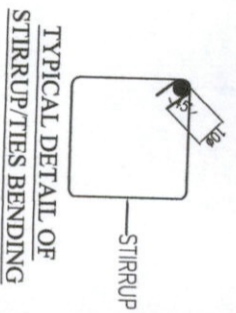
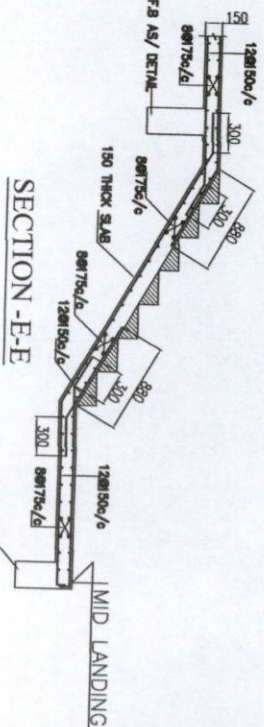
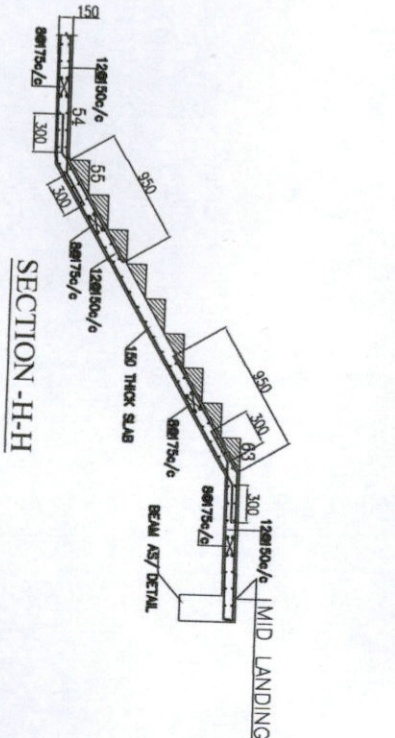
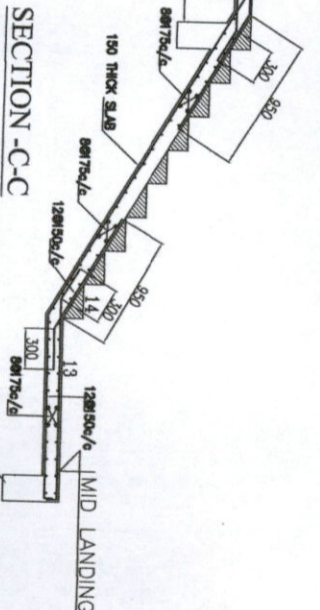
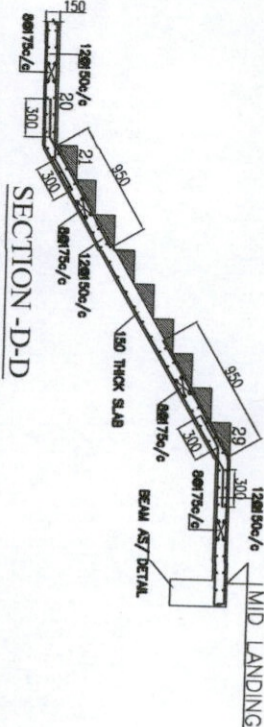
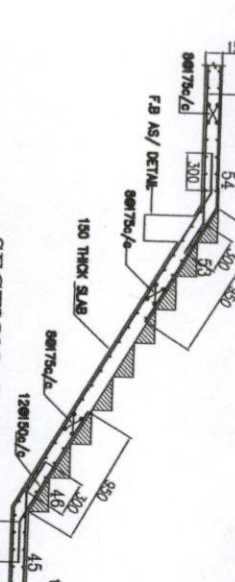
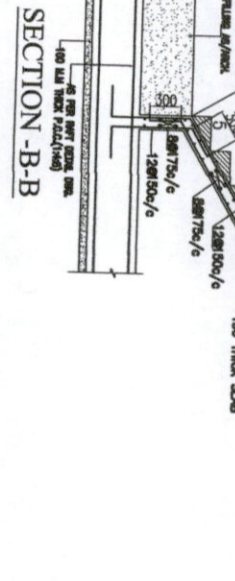
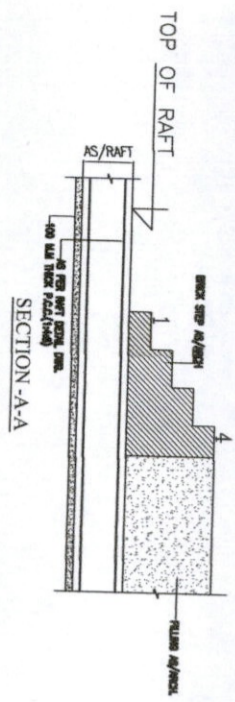
PLAN OF STAIR CASE AT
SECOND / TYPICAL FLOOR



DETAIL OF L.B.1
(230X500)

CONC. MIX SHALL BE M-25

FOR NO. OF RISERS/TREAD REFER ARCH. DRAWING
ALL STAIR CASE LV. AS PER ARCH. DRAWING
F.B. IS FLOOR BEAM DETAIL AS PER BEAM DETAIL
DRAWING EXCEPT L.B.1



1. GENERAL
- 1.1 FOR DIMENSIONS
- 1.2 ALL DIMENSIONS
- 1.3 THE GRID DIMENSIONS
- 1.4 ALL THE STRUCTURAL
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- 2.85 ALL REINFORCING BARS
- 2.86 ALL REINFORCING BARS
- 2.87 ALL REINFORCING BARS
- 2.88 ALL REINFORCING BARS
- 2.89 ALL REINFORCING BARS
- 2.90 ALL REINFORCING BARS
- 2.91 ALL REINFORCING BARS
- 2.92 ALL REINFORCING BARS
- 2.93 ALL REINFORCING BARS
- 2.94 ALL REINFORCING BARS
- 2.95 ALL REINFORCING BARS
- 2.96 ALL REINFORCING BARS
- 2.97 ALL REINFORCING BARS
- 2.98 ALL REINFORCING BARS
- 2.99 ALL REINFORCING BARS
- 2.100 ALL REINFORCING BARS

PROJECT:-	WORKING I HOUSING AT N.H. 24, CROSS
OWNERS:-	
TITLE:-	STAIR C
ARCHITECTS:-	ANU AGARWAL
SCALE	
DATE	
DRAWN	
CHECKED	
CONSULTANTS:-	
DATE	14/11/2009

