

FORM A
(See Rule 3)
FORM OF DECLARATION

Date:

Place:

Promoter Details:

1 Name: CROSSINGS INFRASTRUCTURE PVT. LTD.
2 Registered Address: KSN BUILDERS AND DEVELOPERS C-
170, PREET VIHAR DELHI 110058
3 Local/Postal Address: 7 I.P. BUILDING E-109, PANDAV NAGAR NEAR AKSHARDHAR TEMPLE NH-24, DELHI
110092
4 Date of Incorporation (If applicable): 27/11/2007
5 Name/Designation of Authorized Signatory: NARINDER KUMAR (PARTNER)

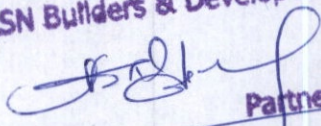
The Declaration hereby solemnly states the following:

FIRST: The Promoter owns/holds the land as lease which is fully described and detailed in **Annexure 'A'** to this declaration.

SECOND: The Promoter has constructed on the parcel of land, described in Annexure 'A' to this declaration, an apartment Building/ Group Housing Scheme, detailed below:

Sl.No. (1)	Description (2)	Particulars (3)
1	Name of the building/Group Housing Scheme	GROUP HOUSING AT PLOT NO. GH-06, CROSSINGS REPUBLIC, N.H. 24, GHAZIABAD.
2	Sanctioning Authority of the plan	Ghaziabad Development Authority
3	Date of Sanction	27/11/2007
4	Municipal Ward of the property	NA
5	Municipal Ward of the property	NA
6	Postal Address of the property	GOLF GREENS, BLOCK NOJ-1, GH 06, CROSSING REPUBLIC , VILL. DUNDAHERA NH-24, GHAZIABAD
7	Name of Architect/Structured Engineer	Ar. Vishal Mittal
8	Height of the building	Tower J 45.00 MT
9	Scheme whether residential or commercial (other than multiplex or mall)	Residential
10	No. of floors	Tower J B+G+14

For KSN Builders & Developers


Partner

THIRD: That the said property consists of the apartments detailed in Annexure 'B' to this declaration. The various apartments of the scheme are capable of individual utilization on account of having their own exit to common areas and facilities of the building/property scheme and the apartment will be sold to one or more persons, each person obtaining a particular and exclusive property rights thereto and each apartment constituting a heritable and transferable immovable property within the meaning of any law for the time being in force in the State (hereinafter referred to as the 'Apartment') and also an undivided interest in the general and/or 'limited common areas and facilities' of the building/property scheme, as listed in this declaration deed, necessary for their adequate use and enjoyment, and referred to as:-

- (a) Common facilities for dwelling units of individual block.
- (b) Limited common facilities for apartments, means those common areas and facilities which have been designated in writing by the promoter as reserved for the use of certain apartment or apartments to the exclusion of the other apartments.

FOURTH: That the aforesaid building as a total floor area of 13812.600 square meters on all floors, of which 9635.400 square meters will constitute the apartments and remaining 1327.200 square meters will constitute the 'common areas and facilities' and 2850 square meters constitute 'limited common areas and facilities' in basement and stilt, which have been detailed in Annexure 'C' hereto as well as in addition Open Car Parking area 110 sq.mt. is not taken in above area.

FIFTH: That this condominium shall be known as **" GOLF GREEN"** (insert the name of the building/ scheme as given above) and that the apartments and 'common areas and facilities' (as defined in S. 3(i) of the Act) the ' limited common areas and facilities' of the building/ scheme (as defined in S. 3(s) of the Act), and the 'independent areas' (as defined in S. 3(p) of the Act), and shall be as follows –

Sl.No.	Item	Details
1	"Common areas & facilities: [as defined in S. .3(i) of the Act]	As per Annexure 'D'
2	"Limited common areas & facilities" [as defined in S. 3 (s) of the Act]	As per Annexure 'E'
3	"Independent areas" [as defined S. 3(p) of the Act]	As per Annexure 'F'

SIXTH: (a) that the right, title and interest of each apartment owner and his proportionate share in the profits and common expenses for the common areas and facilities, as well as the proportionate representation for voting purpose in the meeting of the association of apartment owners of the **" GOLF GREEN"** Condominium is based on the proportionate value of each apartment to the total value of all apartments.

For KSN Builders & Developers

 Partner

SEVENTH: That the Administration of " GOLF GREEN" aforesaid of the building and parcel of land described above shall be in accordance with the provisions of this Deed and with the provisions of the bye-laws of the association of the apartment owners. The promoters shall be responsible for full quality control of materials and workmanship at site. The specifications of construction detailed in 'Schedule-A' hereto.

Condominium consisting as

EIGHTH: That for the purpose of stamp duty and registration fees payable on the Deed of apartments under S. 13 of the Act, the value of the

(a) Land of each apartment would be computed on basis of the percentage of the undivided share so that the aggregate of the Land component of all of the apartments of the building is equivalent to the total value of the Land of the building;

(b) The construction of each apartment would be also computed on the basis of the percentage of the undivided share as it bears to the total covered area.

NINTH: That the 'common areas and facilities' as well as the 'limited common areas and facilities' shall remain undivided and no apartment owner shall bring any action for their partition or division thereof.

TENTH: That the percentage of the undivided interest in the "common areas of facilities" as well as the "limited common areas and facilities" established herein shall not be charged except with the unanimous consent of all the apartment owners and approved of Competent Authority expressed in amendment to this deed.

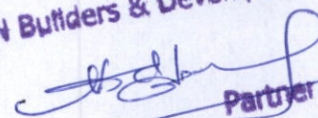
ELEVENTH: That the undivided interest in the 'common areas and facilities' as well as the 'limited common areas and facilities' shall not be separated from the apartment to which they pertain and shall be deemed conveyed or encumbered with the unit even though such interest is not expressly mentioned or described in the conveyance or other instruments;

TWELTH: That neither the dedication of the property to the plan of apartment ownership herein shall not be revoked, nor the property removed from plan of apartment ownership, or any of the provisions herein amended unless all the apartment owners and the mortgagees of all the mortgages covering the units unanimously agree to such revocation, or amendment or removal of the property from the plan by only registered instruments;

THIRTEENTH: That if the property, subject to the plan of Apartment Ownership is totally or substantially damaged or destroyed, the repair, reconstruction, or disposition of the property shall be as provided by the Act;

FOURTEENTH: That where an apartment is sold pursuant to the recovery of the mortgage money, then neither the mortgagee nor the purchaser who derives association which title to be apartment at such sale or his successors or assigns shall be liable for assessments by the association which became due prior to the acquisition of the title by such acquirer but the association of apartment owners would be entitled to recover the amount subsequent to the date of acquisition of title by such acquirer.

For KSN Builders & Developers

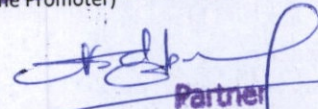

Partner

FIFTEENTH: that the 'independent area', declared herein in the Annexure 'F' are not included as common areas for the joint use of the apartment and the promoter would be at liberty to sell them or to construct thereupon without interference of other apartment owners in view of the provisions of S.3(p) of the Act.

SIXTEENTH: The promoter shall maintain the common areas and facilities till the association is formed and shall be entitled to collect the maintenance charges @ _____ per month from the owners of each apartment.

IN WITNESS WHEREOF, Shri _____ for on and behalf of
M/s _____ (the promoter) hereto set his hand this
_____ day of _____ of year _____.

Signed & delivered by
For KSN Builders & Developers
(Seal of the Promoter)


Partner

In the presence of:-

- 1 _____
- 2 _____

Annexure-'A'

Details of the land of the building to which the present declaration relates

Sl.No.	Items		
1	Location of the land of the building	Revenue Village	Dundahera
		Tehsil	Ghaziabad
		District	Ghaziabad
2	Survey No. with area		
3	Date of last document of title under which the promoter claims the land		
4	Details of Registration of the above title document	Book No.	J-1
		Vol. No.	7350
		Pages No.	259 TO 420
		Sl. No.	2259
		Date of Regn.	30/04/2008
5	Boundaries	North	ARIHANT
		South	PRABHAT HEIGHT
		East	KUMAR GOLF VISTA
		West	COSMOS HEIGHT
6	Land whether freehold or leasehold	FREEHOLD	
7	If land is leasehold, the unexpired period of the lease		

Place:

Date:

For KSN Builders & Developers

[Signature]
Signature of declarant

with designation & Seal

Annexure-'B'
(Details of Apartment)

Name of Condominium:

" GOLF GREEN "

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
Tower J1								
1	G	K-01	3BHK	106.140	1.102	1	Residential	
2	G	K-02	3BHK	107.000	1.110	1	Residential	
3	G	K-03	3BHK	108.040	1.121	1	Residential	
4	G	K-04	3BHK	106.140	1.102	1	Residential	
5	G	K-05	3BHK	107.000	1.110	1	Residential	
6	G	K-06	3BHK	108.040	1.121	1	Residential	
7	1	K-101	3BHK	106.140	1.102	1	Residential	
8	1	K-102	3BHK	107.000	1.110	1	Residential	
9	1	K-103	3BHK	108.040	1.121	1	Residential	
10	1	K-104	3BHK	106.140	1.102	1	Residential	
11	1	K-105	3BHK	107.000	1.110	1	Residential	
12	1	K-106	3BHK	108.040	1.121	1	Residential	
13	2	K-201	3BHK	106.140	1.102	1	Residential	
14	2	K-202	3BHK	107.000	1.110	1	Residential	
15	2	K-203	3BHK	108.040	1.121	1	Residential	
16	2	K-204	3BHK	106.140	1.102	1	Residential	
17	2	K-205	3BHK	107.000	1.110	1	Residential	
18	2	K-206	3BHK	108.040	1.121	1	Residential	
19	3	K-301	3BHK	106.140	1.102	1	Residential	
20	3	K-302	3BHK	107.000	1.110	1	Residential	
21	3	K-303	3BHK	108.040	1.121	1	Residential	
22	3	K-304	3BHK	106.140	1.102	1	Residential	
23	3	K-305	3BHK	107.000	1.110	1	Residential	
24	3	K-306	3BHK	108.040	1.121	1	Residential	
25	4	K-401	3BHK	106.140	1.102	1	Residential	
26	4	K-402	3BHK	107.000	1.110	1	Residential	
27	4	K-403	3BHK	108.040	1.121	1	Residential	
28	4	K-404	3BHK	106.140	1.102	1	Residential	
29	4	K-405	3BHK	107.000	1.110	1	Residential	
30	4	K-406	3BHK	108.040	1.121	1	Residential	
31	5	K-501	3BHK	106.140	1.102	1	Residential	
32	5	K-502	3BHK	107.000	1.110	1	Residential	
33	5	K-503	3BHK	108.040	1.121	1	Residential	
34	5	K-504	3BHK	106.140	1.102	1	Residential	
35	5	K-505	3BHK	107.000	1.110	1	Residential	
36	5	K-506	3BHK	108.040	1.121	1	Residential	
37	6	K-601	3BHK	106.140	1.102	1	Residential	
38	6	K-602	3BHK	107.000	1.110	1	Residential	
39	6	K-603	3BHK	108.040	1.121	1	Residential	
40	6	K-604	3BHK	106.140	1.102	1	Residential	
41	6	K-605	3BHK	107.000	1.110	1	Residential	
42	6	K-606	3BHK	108.040	1.121	1	Residential	

For KSN Builders & Developers

[Handwritten Signature]
Partner

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
43	7	K-701	3BHK	106.140	1.102	1	Residential	
44	7	K-702	3BHK	107.000	1.110	1	Residential	
45	7	K-703	3BHK	108.040	1.121	1	Residential	
46	7	K-704	3BHK	106.140	1.102	1	Residential	
47	7	K-705	3BHK	107.000	1.110	1	Residential	
48	7	K-706	3BHK	108.040	1.121	1	Residential	
49	8	K-801	3BHK	106.140	1.102	1	Residential	
50	8	K-802	3BHK	107.000	1.110	1	Residential	
51	8	K-803	3BHK	108.040	1.121	1	Residential	
52	8	K-804	3BHK	106.140	1.102	1	Residential	
53	8	K-805	3BHK	107.000	1.110	1	Residential	
54	8	K-806	3BHK	108.040	1.121	1	Residential	
55	9	K-901	3BHK	106.140	1.102	1	Residential	
56	9	K-902	3BHK	107.000	1.110	1	Residential	
57	9	K-903	3BHK	108.040	1.121	1	Residential	
58	9	K-904	3BHK	106.140	1.102	1	Residential	
59	9	K-905	3BHK	107.000	1.110	1	Residential	
60	9	K-906	3BHK	108.040	1.121	1	Residential	
61	10	K-1001	3BHK	106.140	1.102	1	Residential	
62	10	K-1002	3BHK	107.000	1.110	1	Residential	
63	10	K-1003	3BHK	108.040	1.121	1	Residential	
64	10	K-1004	3BHK	106.140	1.102	1	Residential	
65	10	K-1005	3BHK	107.000	1.110	1	Residential	
66	10	K-1006	3BHK	108.040	1.121	1	Residential	
67	11	K-1101	3BHK	106.140	1.102	1	Residential	
68	11	K-1102	3BHK	107.000	1.110	1	Residential	
69	11	K-1103	3BHK	108.040	1.121	1	Residential	
70	11	K-1104	3BHK	106.140	1.102	1	Residential	
71	11	K-1105	3BHK	107.000	1.110	1	Residential	
72	11	K-1106	3BHK	108.040	1.121	1	Residential	
73	12	K-1201	3BHK	106.140	1.102	1	Residential	
74	12	K-1202	3BHK	107.000	1.110	1	Residential	
75	12	K-1203	3BHK	108.040	1.121	1	Residential	
76	12	K-1204	3BHK	106.140	1.102	1	Residential	
77	12	K-1205	3BHK	107.000	1.110	1	Residential	
78	12	K-1206	3BHK	103.040	1.121	1	Residential	
79	13	K-1301	3BHK	106.140	1.102	1	Residential	
80	13	K-1302	3BHK	107.000	1.110	1	Residential	
81	13	K-1303	3BHK	108.040	1.121	1	Residential	
82	13	K-1304	3BHK	106.140	1.102	1	Residential	
83	13	K-1305	3BHK	107.000	1.110	1	Residential	
84	13	K-1306	3BHK	108.040	1.121	1	Residential	
85	14	K-1401	3BHK	106.140	1.102	1	Residential	
86	14	K-1402	3BHK	107.000	1.110	1	Residential	
87	14	K-1403	3BHK	108.040	1.121	1	Residential	
88	14	K-1404	3BHK	106.140	1.102	1	Residential	
89	14	K-1405	3BHK	107.000	1.110	1	Residential	
90	14	K-1406	3BHK	108.040	1.121	1	Residential	

For KSN Builders & Developers

90
Partner

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
				9635.400	100			

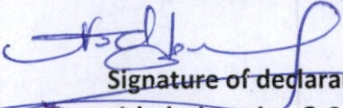
Note * Covered Area of flat only consist of F.A.R.area of flat(Excluding all projections as well as balconies)

Note:The percentage of undivided share in the land is calculated on the basis of the covered area of the apartment in relation to the total covered area of the apartments ,being the aggregate of column No. 4.

Place:

Date:

For KSN Builders & Developers


Signature of declarant
with designation & Seal Partner

Annexure-'C'

Details of covered area of apartments and total covered area of common areas and facilities/ limited common areas and facilities

Sl.No.	Particulars	(3)	(4)	(5)	(6)
(1)	(2)				
(a)	Total covered area of apartment at various floors	9635.400 sq.mt.			
(b-1)	Total covered area of common areas & facilities (as defined in S. 3(i) of the Act)		1327.200 sq.mt.		
(b-2)	Total covered area of limited common areas & facilities (as defined in S. 3(s) of the Act)			2850.000 sq.mt.	
(c)	Total covered area of the building [Total of (a), (b-1), (b-2)]				13812.600 sq.mt.
	Sum up				

• Open Parking area

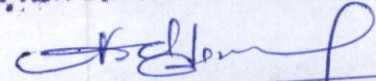
110.00

sq.m. is not included in (b-2)

Place:

Date:

For KSN Builders & Developers



Signature of declarant **Partner**

• with designation & Seal

Annexure 'D'

**Details of the common area and facilities of the building to
which the present declaration relates**

Sl.No.	Name of the common areas & facilities	Its description / area
(a)	The parcel of Land described in paragraph First of this Deed	GOLF GREENS, BLOCK NOJ-1, GH 06, CROSSING REPUBLIK, VILL. DUNDAHERA NH-24, GHAZIBAD
(b)	Basement (if any) (as shown in Exhibit 'A' attached hereto)	2,850.00 sq.mts Taken in limited common area & facility
(c)	Facilities in the basement	Parking, store etc.
(d)	Parking facilities (as shown in Exhibit 'A' attached hereto)	
(e)	Facilities on the ground floor (as shown in Exhibit 'A' attached hereto)	
	(i) Garden lawns	NA
	(ii) Children playing area	NA
	(iii) Swimming Pool	NA
	(iv) Tennis Court	NA
	(v) Badminton Court	NA
	(vi) Commercial areas & facilities	NA
	(vii) Lobby & facilities	NA
	(viii) Any other facility (Community Hall)	NA
(f)	Common areas & Facilities located throughout the building (as shown in Exhibit 'A')	
	(i) Elevator	Tower J1 2 Nos
	(ii) Area of shaft(s)	Tower J1 62.40 sq. mt.
	(iii) Elevator shaft extends from ground floor upto	Top in all towers
	(iv) No. of stairway 'A' which lead from	Tower J1 2 Nos
	(v) No. of stairway 'B' (if any), which lead from open court to the upper floors.	NA
	(vi) A Flue (if applicable), extending from the incinerator in the basement to the roof of the building, which one of the upper floors for the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the upper floors.	
	(vii) No. of Water Tank(s)	4

(viii)	Elevator pent-house with corresponding elevator equipment	Each lift room at top of comprising elevator equipment
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For KSN Builders & Developers

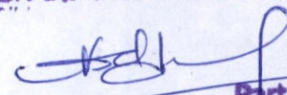
[Signature]
Partner

	located on the roof of the building.	Each int room at top of comprising elevator equipment
(ix)	Plumbing network throughout the building.	Ground To top floor.
(x)	Electric wiring network throughout the building	Ground To top floor.
(xi)	Necessary light(s)	Provided
(xii)	Telephone(s)	E.P.A.B.X.connection to all apartment.
(xiii)	Public water connection(s)	
(xiv)	Foundation and main walls, columns, girders, beams and roofs of the building	As per structure design.
(xv)	Tank(s)	Drowings attached
(xvi)	Pump(s)	Drowings attached
(xvii)	Motor(s)	Drowings attached
(xviii)	Fans	Drowings attached
(xix)	Firefighting equipment(s)	Equipped as per fire NOC.
(xx)	necessary light(s)	NA
(xxi)	Duct(s)	NA
(xxii)	Central Air Conditioning Equipment(s)	NA
(xxiii)	Heating Equipment	NA
(xxiv)	General all apparatus & installation existing for common use	Provided

Place:

Date:

For KSN Builders & Developers


Partner

Signature of declarant
with designation & Seal

Note:-Section 3(i) of the Act has defined the term "*common areas and facilities*" and the above common areas and facilities are illustrative and not exhaustive.

Annexure 'E'

Details of the limited common area and facilities of the building to which the present declaration relates

"Limited Common areas & Facilities" (as defined in S. 3(c) of the Act and shown in Exhibit 'A')		
(i)	Parking	Basement Parking Area- 2850.00 sq.mt.
		Open Parking Area - 110 sq.mt.
		Total Parking Provided - 90 no.
		against required 90 no.
(ii)	Lobby, giving access to the elevator(s) to specified dwelling unit	NA
(iii)	Corridor extending from the lobby to the stairway	NA

Place:

Date:

For KSN Builders & Developers



Partner

**Signature of declarant
with designation & Seal**

Note:-Section 3(s) of the Act has defined the term "*limited common areas and facilities*" means "those common areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

Annexure 'F'

Details of the independent area of the building to which the present declaration relates

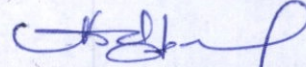
"Independent areas" (as defined in S. 3(P) of the Act)		
(i)	Parking	2960.00
(ii)	Servant Quarter	NA
(iii)	Club with independent access	NA
(iv)	Convenient shops/ Commercial	0
(v)	Covered garage/ Store	NA
(vi)	Terrace attached to an apartment (If applicable)	NA

Note:-Section 3(p) of the Act has defined the term "*independent area*" which means the areas which have been declared but not included as common areas for joint use of apartments and may be sold by promoters without the interference of other apartment owners.

Place:

Date:

For KSN Builders & Developers



Signature of declarant Partner
with designation & Seal

Schedule -A
[Specifications of Construction]

- 1 Foundation:

- 2 Flooring:

- 3 Doors & Hardware:

- 4 Windows:

- 5 Internal Finish:

- 6 External Finish:

- 7 Sanitary ware & fittings:

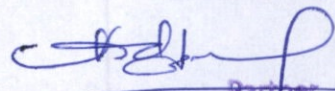
- 8 Electrical:

- 9 Plumbing and water Line:

Place:

Date:

For KSN Builders & Developers



Partner

Signature of declarant
with designation & Seal

FORM A
(See Rule 3)
FORM OF DECLARATION

Date:

Place:

Promoter Details:

1 Name: CROSSINGS INFRASTRUCTURE PVT. LTD.
2 Registered Address: M/s Global India Infra Promoters Pvt.Ltd. Address. 71.P.Builing,E-109,Pandav Nagar NH-24,Delhi 110092
3 Local/Postal Address: 71.P.Builing,E-109,Pandav Nagar NH-24,Delhi 110092
4 Date of Incorporation (If applicable): 21/07/2008
5 Name/Designation of Authorized Signatory: Dinesh jain (Director)

The Declaration hereby solemnly states the following:

FIRST:The Promoter owns/holds the land as lease which is fully described and detailed in **Annexure 'A'** to this declaration.

SECOND: The Promoter has constructed on the parcel of land, described in Annexure 'A' to this declaration, an apartment Building/ Group Housing Scheme, detailed below:

Sl.No. (1)	Description (2)	Particulars (3)
1	Name of the building/Group Housing Scheme	GROUP HOUSING AT PLOT NO. GH-06,CROSSINGS REPubLIK, N.H. 24, GHAZIABAD.
2	Sanctioning Authority of the plan	Ghaziabad Development Authority
3	Date of Sanction	26/06/2009
4	Municipal Ward of the property	NA
5	Municipal Ward of the property	NA
6	Postal Address of the property	Kumar Golf Vista, Block Nok-1,GH 06,Crossing Republik,Vill.Dundahera,Ghaziabad (apart of Khasra nos-923,921,910)
7	Name of Architect/Structured Engineer	Ar. Vishal Mittal
8	Height of the building	Tower K 51.15 MT
9	Scheme whether residential or commercial (other than multiplex or mall)	Residential
10	No. of floors	Tower K B+G+16

or Global India Infra Promoters Pvt. Ltd.

Dinesh Jain
Director

THIRD: That the said property consists of the apartments detailed in Annexure 'B' to this declaration. The various apartments of the scheme are capable of individual utilization on account of having their own exit to common areas and facilities of the building/property scheme and the apartment will be sold to one or more persons, each person obtaining a particular and exclusive property rights thereto and each apartment constituting a heritable and transferable immovable property within the meaning of any law for the time being in force in the State (hereinafter referred to as the 'Apartment') and also an undivided interest in the general and/or 'limited common areas and facilities' of the building/property scheme, as listed in this declaration deed, necessary for their adequate use and enjoyment, and referred to as:-

(a) Common facilities for dwelling units of individual block.

(b) Limited common facilities for apartments, means those common areas and facilities which have been designated in writing by the promoter as reserved for the use of certain apartment or apartments to the exclusion of the other apartments.

FOURTH: That the aforesaid building as a total floor area of 14289.079 square meters on all floors, of which 9999.298 square meters will constitute the apartments and remaining 1439.781 square meters will constitute the 'common areas and facilities' and 2850 square meters constitute 'limited common areas and facilities' in basement and stilt, which have been detailed in Annexure 'C' hereto as well as in addition Open Car Parking area 110 sq.mt. is not taken in above area.

FIFTH: That this condominium shall be known as " GOLF VISTA " (insert the name of the building/ scheme as given above) and that the apartments and 'common areas and facilities' (as defined in S. 3(i) of the Act) the 'limited common areas and facilities' of the building/ scheme (as defined in S. 3(s) of the Act), and the 'independent areas' (as defined in S. 3(p) of the Act), and shall be as follows –

Sl.No.	Item	Details
1	"Common areas & facilities: [as defined in S. 3(i) of the Act]	As per Annexure 'D'
2	"Limited common areas & facilities" [as defined in S. 3 (s) of the Act]	As per Annexure 'E'
3	"Independent areas" [as defined S. 3(p) of the Act]	As per Annexure 'F'

SIXTH: (a) that the right, title and interest of each apartment owner and his proportionate share in the profits and common expenses for the common areas and facilities, as well as the proportionate representation for voting purpose in the meeting of the association of apartment owners of the " GOLF VISTA " Condominium is based on the proportionate value of each apartment to the total value of all apartments.

For Global India Infra Promoters Pvt. Ltd.

Dinesh Jain
Director

SEVENTH: That the Administration of " GOLF VISTA" aforesaid of the building and parcel of land described above shall be in accordance with the provisions of this Deed and with the provisions of the bye-laws of the association of the apartment owners. The promoters shall be responsible for full quality control of materials and workmanship at site. The specifications of construction detailed in 'Schedule-A' hereto.

Condominium consisting as

EIGHTH: That for the purpose of stamp duty and registration fees payable on the Deed of apartments under S. 13 of the Act, the value of the

(a) Land of each apartment would be computed on basis of the percentage of the undivided share so that the aggregate of the Land component of all of the apartments of the building is equivalent to the total value of the Land of the building;

(b) The construction of each apartment would be also computed on the basis of the percentage of the undivided share as it bears to the total covered area.

NINTH: That the 'common areas and facilities' as well as the 'limited common areas and facilities' shall remain undivided and no apartment owner shall bring any action for their partition or division thereof.

TENTH: That the percentage of the undivided interest in the "common areas of facilities" as well as the "limited common areas and facilities" established herein shall not be charged except with the unanimous consent of all the apartment owners and approved of Competent Authority expressed in amendment to this deed.

ELEVENTH: That the undivided interest in the 'common areas and facilities' as well as the 'limited common areas and facilities' shall not be separated from the apartment to which they pertain and shall be deemed conveyed or encumbered with the unit even though such interest is not expressly mentioned or described in the conveyance or other instruments;

TWELTH: That neither the dedication of the property to the plan of apartment ownership herein shall not be revoked, nor the property removed from plan of apartment ownership, or any of the provisions herein amended unless all the apartment owners and the mortgagees of all the mortgages covering the units unanimously agree to such revocation, or amendment or removal of the property from the plan by only registered instruments;

THIRTEENTH: That if the property, subject to the plan of Apartment Ownership is totally or substantially damaged or destroyed, the repair, reconstruction, or disposition of the property shall be as provided by the Act;

FOURTEENTH: That where an apartment is sold pursuant to the recovery of the mortgage money, then neither the mortgagee nor the purchaser who derives association which title to be apartment at such sale or his successors or assigns shall be liable for assessments by the association which became due prior to the acquisition of the title by such acquirer but the association of apartment owners would be entitled to recover the amount subsequent to the date of acquisition of title by such acquirer.

For Global India Infra Promoters Pvt. Ltd.

Dinesh Jain
Director

FIFTEENTH: that the 'independent area', declared herein in the Annexure 'F' are not included as common areas for the joint use of the apartment and the promoter would be at liberty to sell them or to construct thereupon without interference of other apartment owners in view of the provisions of S.3(p) of the Act.

SIXTEENTH: The promoter shall maintain the common areas and facilities till the association is formed and shall be entitled to collect the maintenance charges @ _____ per month from the owners of each apartment.

IN WITNESS WHEREOF, Shri _____ for on and behalf of
M/s _____ (the promoter) hereto set his hand this
_____ day of _____ of year _____.

Signed & delivered by
(Seal of the Promoter)

In the presence of:-

1 _____
2 _____

For Global India Infra Promoters Pvt. Ltd.
Dineen Jain
Director

Annexure-'A'

Details of the land of the building to which the present declaration relates

Sl.No.	Items		
1	Location of the land of the building	Revenue Village	Dundahera
		Tehsil	Ghaziabad
		District	Ghaziabad
2	Survey No. with area		
3	Date of last document of title under which the promoter claims the land		
4	Details of Registration of the above title document	Book No.	K-1
		Vol. No.	7635
		Pages No.	1 to148
		Sl. No.	6028
		Date of Regn.	6/11/2008
5	Boundaries	North	ARIHANT
		South	SKY TECH
		East	SAM INDIA
		West	KSN GOLF GREENS
6	Land whether freehold or leasehold		
7	If land is leasehold, the unexpired period of the lease		

For Global India Infra Promoters Pvt. Ltd.
Dinesh Jain
 Director

Place:

Date:

Signature of declarant
with designation & Seal

Annexure-'B'
(Details of Apartment)

Name of Condominium: " GOLF VISTA"

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
Tower K1								
1	G	K-07	3BHK	98.188	0.982	1	Residential	
2	G	K-08	3BHK	98.264	0.983	1	Residential	
3	G	K-09	3BHK	97.645	0.977	1	Residential	
4	G	K-10	3BHK	98.188	0.982	1	Residential	
5	G	K-11	3BHK	98.264	0.983	1	Residential	
6	G	K-12	3BHK	97.645	0.977	1	Residential	
7	1	K-107	3BHK	98.188	0.982	1	Residential	
8	1	K-108	3BHK	98.264	0.983	1	Residential	
9	1	K-109	3BHK	97.645	0.977	1	Residential	
10	1	K-110	3BHK	98.188	0.982	1	Residential	
11	1	K-111	3BHK	98.264	0.983	1	Residential	
12	1	K-112	3BHK	97.645	0.977	1	Residential	
13	2	K-207	3BHK	98.188	0.982	1	Residential	
14	2	K-208	3BHK	98.264	0.983	1	Residential	
15	2	K-209	3BHK	97.645	0.977	1	Residential	
16	2	K-210	3BHK	98.188	0.982	1	Residential	
17	2	K-211	3BHK	98.264	0.983	1	Residential	
18	2	K-212	3BHK	97.645	0.977	1	Residential	
19	3	K-307	3BHK	98.188	0.982	1	Residential	
20	3	K-308	3BHK	98.264	0.983	1	Residential	
21	3	K-309	3BHK	97.645	0.977	1	Residential	
22	3	K-310	3BHK	98.188	0.982	1	Residential	
23	3	K-311	3BHK	98.264	0.983	1	Residential	
24	3	K-312	3BHK	97.645	0.977	1	Residential	
25	4	K-407	3BHK	98.188	0.982	1	Residential	
26	4	K-408	3BHK	98.264	0.983	1	Residential	
27	4	K-409	3BHK	97.645	0.977	1	Residential	
28	4	K-410	3BHK	98.188	0.982	1	Residential	
29	4	K-411	3BHK	98.264	0.983	1	Residential	
30	4	K-412	3BHK	97.645	0.977	1	Residential	
31	5	K-507	3BHK	98.188	0.982	1	Residential	
32	5	K-508	3BHK	98.264	0.983	1	Residential	
33	5	K-509	3BHK	97.645	0.977	1	Residential	
34	5	K-510	3BHK	98.188	0.982	1	Residential	
35	5	K-511	3BHK	98.264	0.983	1	Residential	
36	5	K-512	3BHK	97.645	0.977	1	Residential	
37	6	K-607	3BHK	98.188	0.982	1	Residential	
38	6	K-608	3BHK	98.264	0.983	1	Residential	
39	6	K-609	3BHK	97.645	0.977	1	Residential	
40	6	K-610	3BHK	98.188	0.982	1	Residential	
41	6	K-611	3BHK	98.264	0.983	1	Residential	
42	6	K-612	3BHK	97.645	0.977	1	Residential	

Global India Infra Promoters Pvt. Ltd.
Director

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
43	7	K-707	3BHK	98.188	0.982	1	Residential	
44	7	K-708	3BHK	98.264	0.983	1	Residential	
45	7	K-709	3BHK	97.645	0.977	1	Residential	
46	7	K-710	3BHK	98.188	0.982	1	Residential	
47	7	K-711	3BHK	98.264	0.983	1	Residential	
48	7	K-712	3BHK	97.645	0.977	1	Residential	
49	8	K-807	3BHK	98.188	0.982	1	Residential	
50	8	K-808	3BHK	98.264	0.983	1	Residential	
51	8	K-809	3BHK	97.645	0.977	1	Residential	
52	8	K-810	3BHK	98.188	0.982	1	Residential	
53	8	K-811	3BHK	98.264	0.983	1	Residential	
54	8	K-812	3BHK	97.645	0.977	1	Residential	
55	9	K-907	3BHK	98.188	0.982	1	Residential	
56	9	K-908	3BHK	98.264	0.983	1	Residential	
57	9	K-909	3BHK	97.645	0.977	1	Residential	
58	9	K-910	3BHK	98.188	0.982	1	Residential	
59	9	K-911	3BHK	98.264	0.983	1	Residential	
60	9	K-912	3BHK	97.645	0.977	1	Residential	
61	10	K-1007	3BHK	98.188	0.982	1	Residential	
62	10	K-1008	3BHK	98.264	0.983	1	Residential	
63	10	K-1009	3BHK	97.645	0.977	1	Residential	
64	10	K-1010	3BHK	98.188	0.982	1	Residential	
65	10	K-1011	3BHK	98.264	0.983	1	Residential	
66	10	K-1012	3BHK	97.645	0.977	1	Residential	
67	11	K-1107	3BHK	98.188	0.982	1	Residential	
68	11	K-1108	3BHK	98.264	0.983	1	Residential	
69	11	K-1109	3BHK	97.645	0.977	1	Residential	
70	11	K-1110	3BHK	98.188	0.982	1	Residential	
71	11	K-1111	3BHK	98.264	0.983	1	Residential	
72	11	K-1112	3BHK	97.645	0.977	1	Residential	
73	12	K-1207	3BHK	98.188	0.982	1	Residential	
74	12	K-1208	3BHK	98.264	0.983	1	Residential	
75	12	K-1209	3BHK	97.645	0.977	1	Residential	
76	12	K-1210	3BHK	98.188	0.982	1	Residential	
77	12	K-1211	3BHK	98.264	0.983	1	Residential	
78	12	K-1212	3BHK	97.645	0.977	1	Residential	
79	13	K-1307	3BHK	98.188	0.982	1	Residential	
80	13	K-1308	3BHK	98.264	0.983	1	Residential	
81	13	K-1309	3BHK	97.645	0.977	1	Residential	
82	13	K-1310	3BHK	98.188	0.982	1	Residential	
83	13	K-1311	3BHK	98.264	0.983	1	Residential	
84	13	K-1312	3BHK	97.645	0.977	1	Residential	
85	14	K-1407	3BHK	98.188	0.982	1	Residential	
86	14	K-1408	3BHK	98.264	0.983	1	Residential	
87	14	K-1409	3BHK	97.645	0.977	1	Residential	
88	14	K-1410	3BHK	98.188	0.982	1	Residential	
89	14	K-1411	3BHK	98.264	0.983	1	Residential	
90	14	K-1412	3BHK	97.645	0.977	1	Residential	
91	15	K-1507	3BHK	98.188	0.982	1	Residential	

Global India Infra Developers Pvt. Ltd.
 Director

Sl.No.	Floor	Identifiable no. of the apartment	No. of Rooms	*Covered area in sq.mts	of undivided share in land on the basis of covered	Proportionate representation for voting	use Residential / Commercial	Value of the Apartment
(1)	(2)	(3)		(4)	(5)	(6)	(7)	
92	15	K-1508	3BHK	98.264	0.983	1	Residential	
93	15	K-1509	3BHK	97.645	0.977	1	Residential	
94	15	K-1510	3BHK	98.188	0.982	1	Residential	
95	15	K-1511	3BHK	98.264	0.983	1	Residential	
96	15	K-1512	3BHK	97.645	0.977	1	Residential	
97	16	K-1607	3BHK	98.188	0.982	1	Residential	
98	16	K-1608	3BHK	98.264	0.983	1	Residential	
99	16	K-1609	3BHK	97.645	0.977	1	Residential	
100	16	K-1610	3BHK	98.188	0.982	1	Residential	
101	16	K-1611	3BHK	98.264	0.983	1	Residential	
102	16	K-1612	3BHK	97.645	0.977	1	Residential	
				9999.298	100	102		
			TOTAL	9999.298				

Note * Covered Area of flat only consist of F.A.R.area of flat(Excluding all projections as well as balconies)

Note:The percentage of undivided share in the land is calculated on the basis of the covered area of the apartment in relation to the total covered area of the apartments ,being the aggregate of column No. 4.

Place:

Date:

Signature of declarant
with designation & Seal

For Global India Infra Promoters Pvt. Ltd.
Tinay Jain
Director

Annexure-'C'

Details of covered area of apartments and total covered area of common areas and facilities/ limited common areas and facilities

Sl.No.	Particulars	(3)	(4)	(5)	(6)
(1)	(2)				
(a)	Total covered area of apartment at various floors	9999.298 sq.mt.			
(b-1)	Total covered area of common areas & facilities (as defined in S. 3(i) of the Act)		1439.781 sq.mt.		
(b-2)	Total covered area of limited common areas & facilities (as defined in S. 3(s) of the Act)			2850.000 sq.mt.	
(c)	Total covered area of the building [Total of (a), (b-1), (b-2)]				14289.079 sq.mt.
	Sum up				

• Open Parking area 110.00 sq.m. is not included in (b-2)

Place:

Date:

Signature of declarant
with designation & Seal

For Global India Infra Promoters Pvt. Ltd.

Dinesh Jain
Director

Annexure 'D'

**Details of the common area and facilities of the building to
which the present declaration relates**

Sl.No.	Name of the common areas & facilities	Its description / area
(a)	The parcel of Land described in paragraph First of this Deed	Kumar Golf Vista, Block Nok-1,GH 06,Crossing Republik,Vill.Dundahera,Ghazibad (apart of Khasra nos-923,921,910)
(b)	Basement (if any) (as shown in Exhibit 'A' attached hereto)	2,850.000 sq.mts
		Taken in limited common area & facility
(c)	Facilities in the basement	Parking, store etc.
(d)	Parking facilities (as shown in Exhibit 'A' attached hereto)	
(e)	Facilities on the ground floor (as shown in Exhibit 'A' attached hereto)	
	(i) Garden lawns	NA
	(ii) Children playing area	NA
	(iii) Swimming Pool	NA
	(iv) Tennis Court	NA
	(v) Badminton Court	NA
	(vi) Commercial areas & facilities	NA
	(vii) Lobby & facilities	NA
(viii) Any other facility(Community Hall)	NA	
(f)	Common areas & Facilities located throughout the building (as shown in Exhibit 'A')	
	(i) Elevator	Tower K1 2 Nos
	(ii) Area of shaft(s)	Tower K1 64.94 sq. mt.
	(iii) Elevator shaft extends from ground floor upto	Top in all towers
	(iv) No. of stairway 'A' which lead from	Tower K1 2 Nos
	(v) No. of stairway 'B' (if any), which lead from open court to the upper floors.	NA
	(vi) A Flue (if applicable), extending from the incinerator in the basement to the roof of the building, which one of the upper floors for the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the upper floors.	
(vii) No. of Water Tank(s)	4	

(viii)	Elevator pent-house with corresponding elevator equipment	Each lift room at top of comprising elevator equipment
--------	---	--

of Global India Infra Promoters Pvt. Ltd.

(Signature)
Director

	located on the roof of the building.	Each int. room at top of comprising elevator equipment
(ix)	Plumbing network throughout the building.	Ground To top floor.
(x)	Electric wiring network throughout the building	Ground To top floor.
(xi)	Necessary light(s)	Provided
(xii)	Telephone(s)	E.P.A.B.X.connection to all apartment.
(xiii)	Public water connection(s)	
(xiv)	Foundation and main walls, columns, girders, beams and roofs of the building	As per structure design.
(xv)	Tank(s)	Drowings attached
(xvi)	Pump(s)	Drowings attached
(xvii)	Motor(s)	Drowings attached
(xviii)	Fans	Drowings attached
(xix)	Firefighting equipment(s)	Equipped as per fire NOC.
(xx)	Compressor(s)	NA
(xxi)	Duct(s)	NA
(xxii)	Central Air Conditioning Equipment(s)	NA
(xxiii)	Heating Equipment	NA
(xxiv)	General all apparatus & installation existing for common use	Provided

Place:

Date:

Signature of declarant
with designation & Seal

Note:-Section 3(i) of the Act has defined the term "*common areas and facilities*" and the above common areas and facilities are illustrative and not exhaustive.

For Global India Infra Promoters Pvt. Ltd.
Director

Annexure 'E'

Details of the limited common area and facilities of the building to which the present declaration relates

"Limited Common areas & Facilities" (as defined in S. 3(c) of the Act and shown in Exhibit 'A')		
(i)	Parking	Basement Parking Area- 2850.00 sq.mt.
		Open Parking Area - 110 sq.mt.
		Total Parking Provided - 102 no.
		against required 102 no.
(ii)	Lobby, giving access to the elevator(s) to specified dwelling unit	NA
(iii)	Corridor extending from the lobby to the stairway	NA

Place:

Date:

Signature of declarant
with designation & Seal

Note:-Section 3(s) of the Act has defined the term "*limited common areas and facilities*" means "those common areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

For Global India Infra Promoters Pvt. Ltd.
[Signature]
Director

Annexure 'F'

Details of the independent area of the building to which
the present declaration relates

"Independent areas" (as defined in S. 3(P) of the Act)		
(i)	Parking	2960.00
(ii)	Servant Quarter	NA
(iii)	Club with independent access	NA
(iv)	Convenient shops/ Commercial	0
(v)	Covered garage/ Store	NA
(vi)	Terrace attached to an apartment (If applicable)	NA

Note:-Section 3(p) of the Act has defined the term "*independent area*" which means the areas which have been declared but not included as common areas for joint use of apartments and may be sold by promoters without the interference of other apartment owners.

Place:

Date:

Signature of declarant
with designation & Seal

For Global India Infra Promoters Pvt. Ltd.
Dinanjay
Director

Schedule -A
[Specifications of Construction]

1 Foundation:

2 Flooring:

3 Doors & Hardware:

4 Windows:

5 Internal Finish:

6 External Finish:

7 Sanitary ware & fittings:

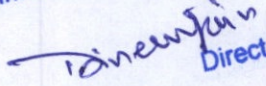
8 Electrical:

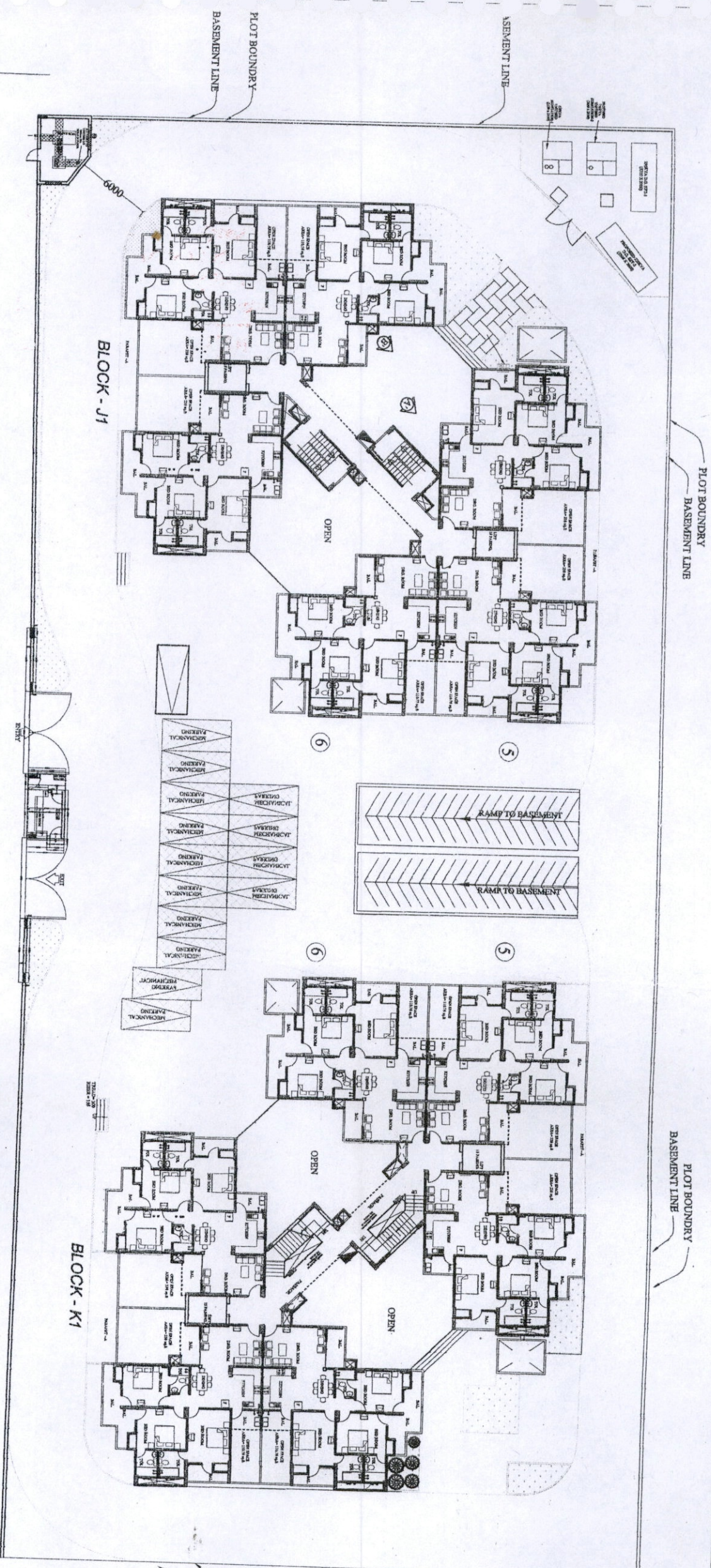
9 Plumbing and water Line:

Place:

Date:

Signature of declarant
with designation & Seal

For Global India Infra Promoters Pvt. Ltd.

Director



For KSN Builders & Developers
[Signature]
 Partner

12.00 MT. WD. ROAD

For Global Infra Promoters Pvt. Ltd.
[Signature]
 Director

LEGEND-

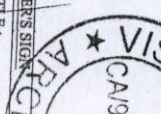
SYMBOL	SIZE

PROPOSED PARK
 BASEMENT CAR P
 AREA = 5335.17
 @ 33 SQ.MT. PER
 = 172.97 E.C.S.S

E.C.S

1

PROJECT: CROSSINGS REPUBLIC, GHAZIABAD, U.P.
 OWNER: CROSSINGS REPUBLIC, H-174, SEC-63, NO. 1
 THROUGH: MR. MANOJ KUMAR
 OWNER'S SIGN: *[Signature]*
 ARCHITECT: *[Signature]*
 DRAWING TITLE: GROUND FLOOR

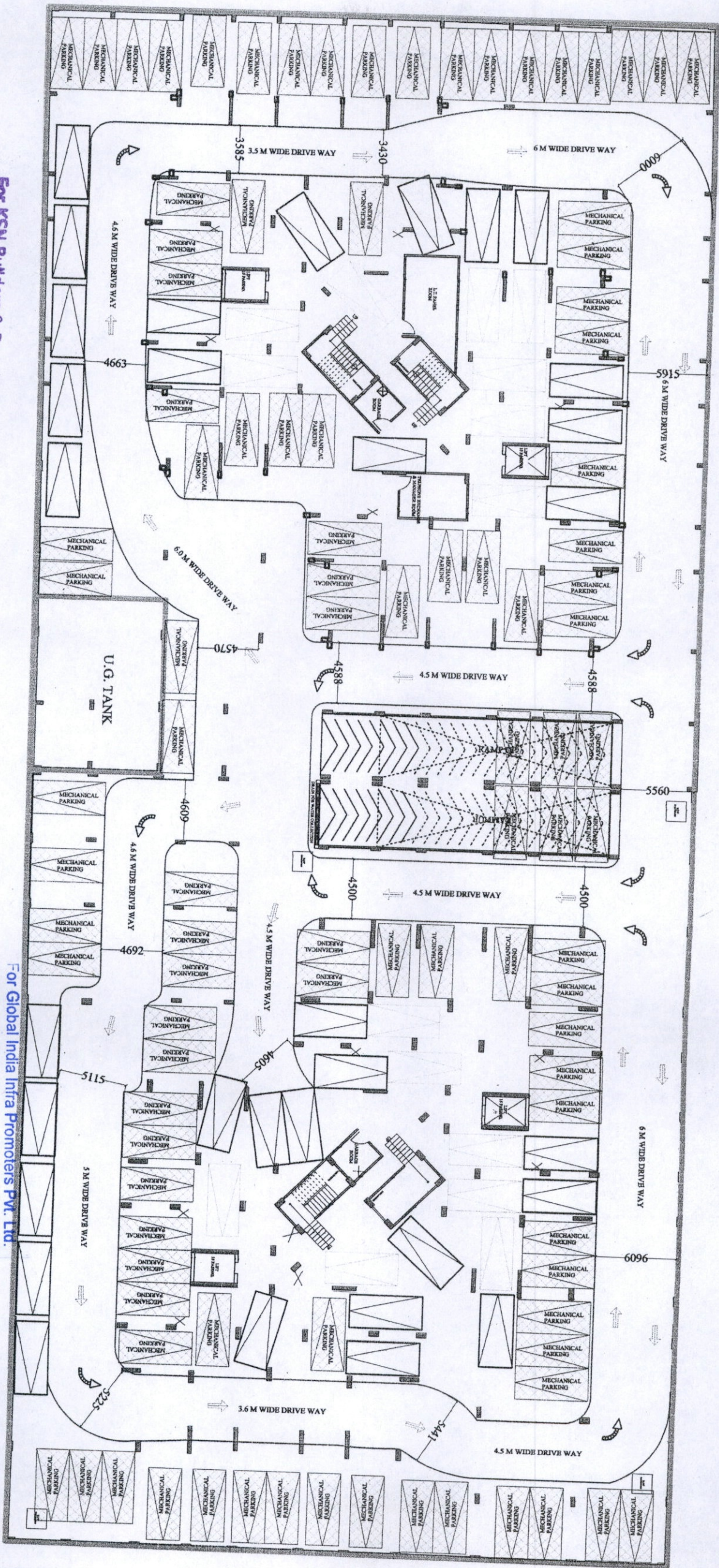


SCALE: DRAWN BY: CHECKED:

Forksn Builders & Developers
Partners

For Global India Infra Promoters Pvt. Ltd.

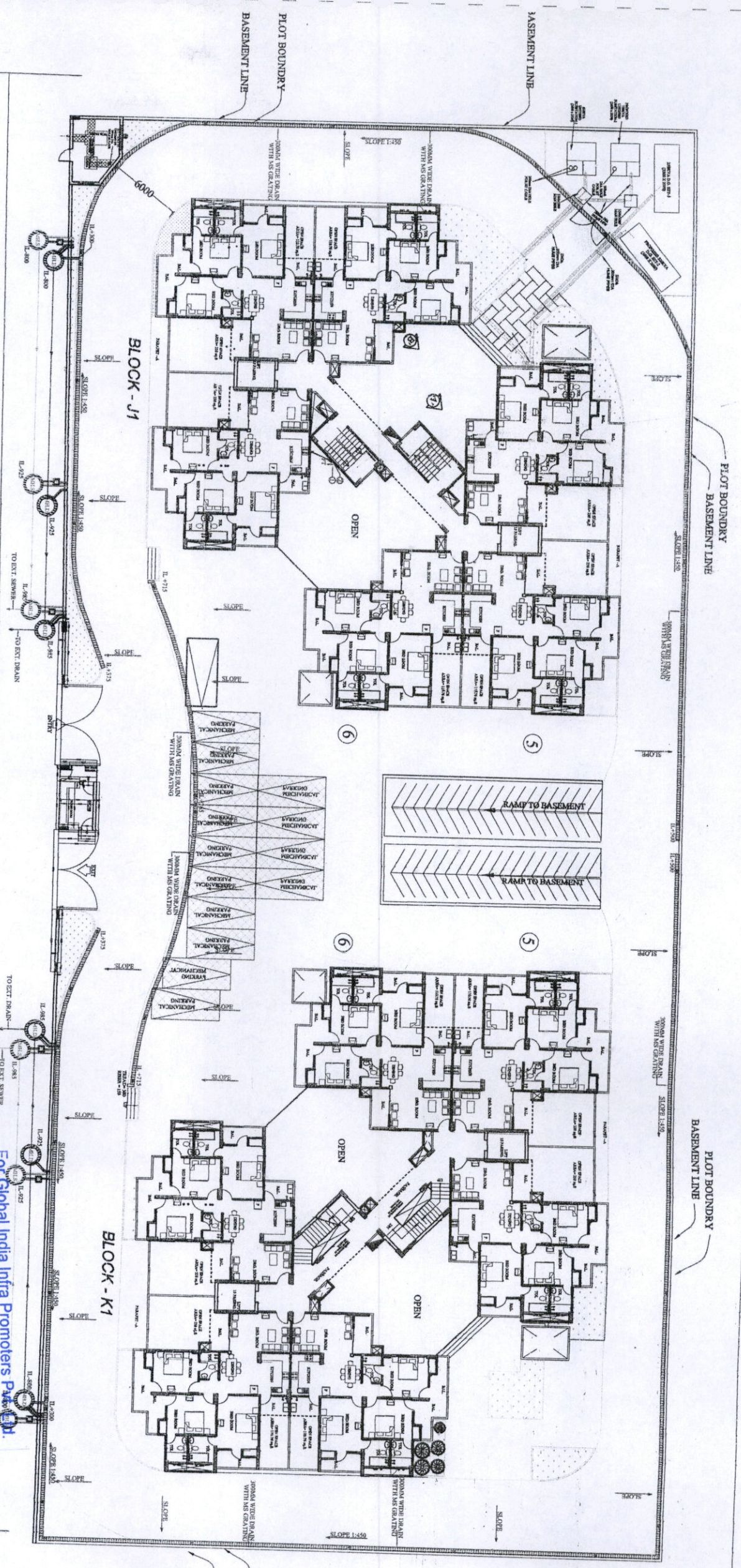
Director



LEGEND:-

SYMBOL	SIZE
	TYPE 1 = 32 CARS
	TYPE 2 = 15 CARS
	TYPE 3 = 101 X 2 = 202 CARS
TOTAL CARS = 349	

PROJECT: CROSSING REF. GHAZIABAD
 OWNER: CROSSING H-174, 28
 THROUGH:-
 DRAWING TITLE:-
 BASIN



For KSN Builders & Developers
Partner

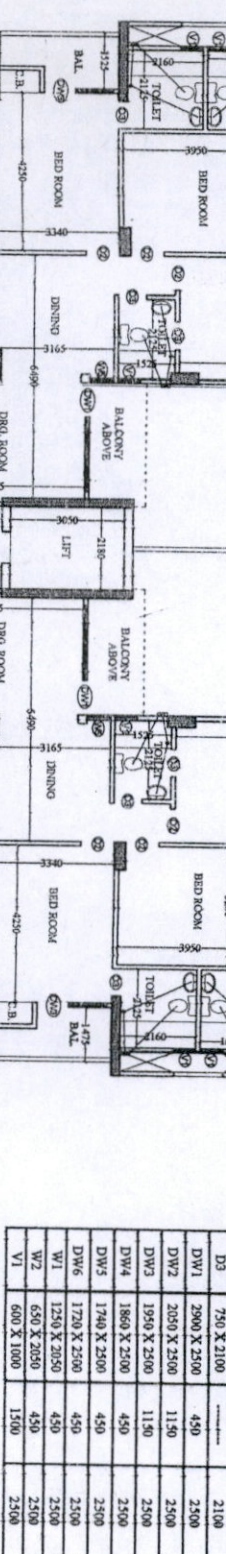
12.00 MT. WD. ROAD

For Global India Infra Promoters Pvt. Ltd.
Director

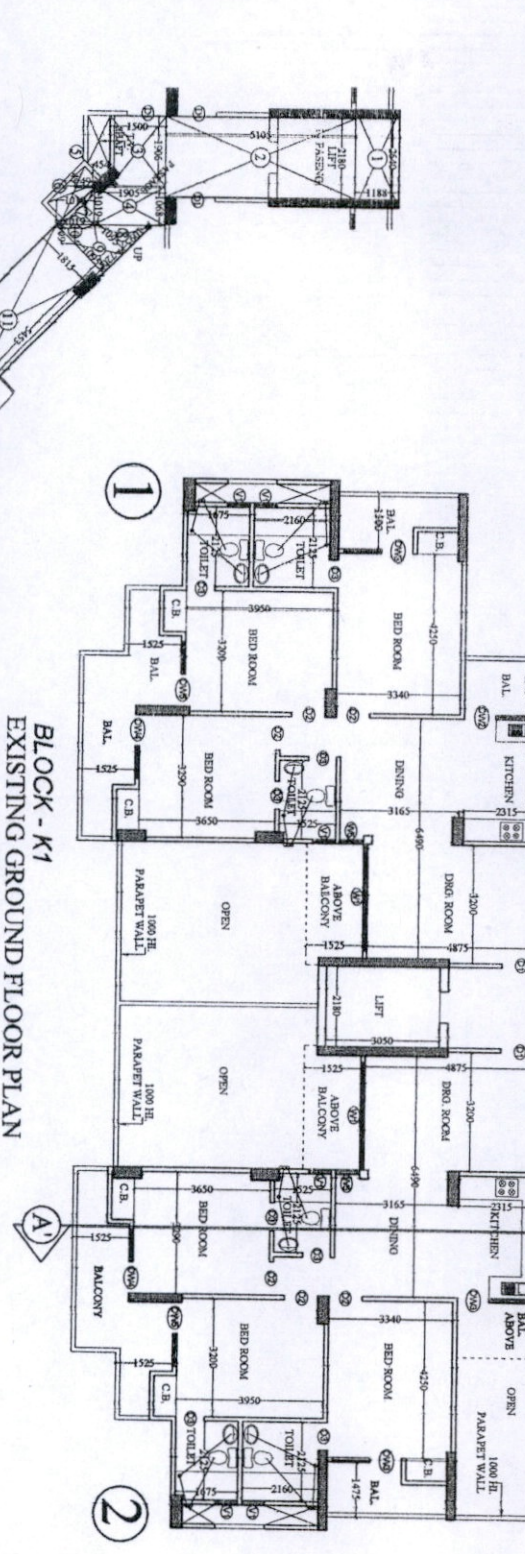
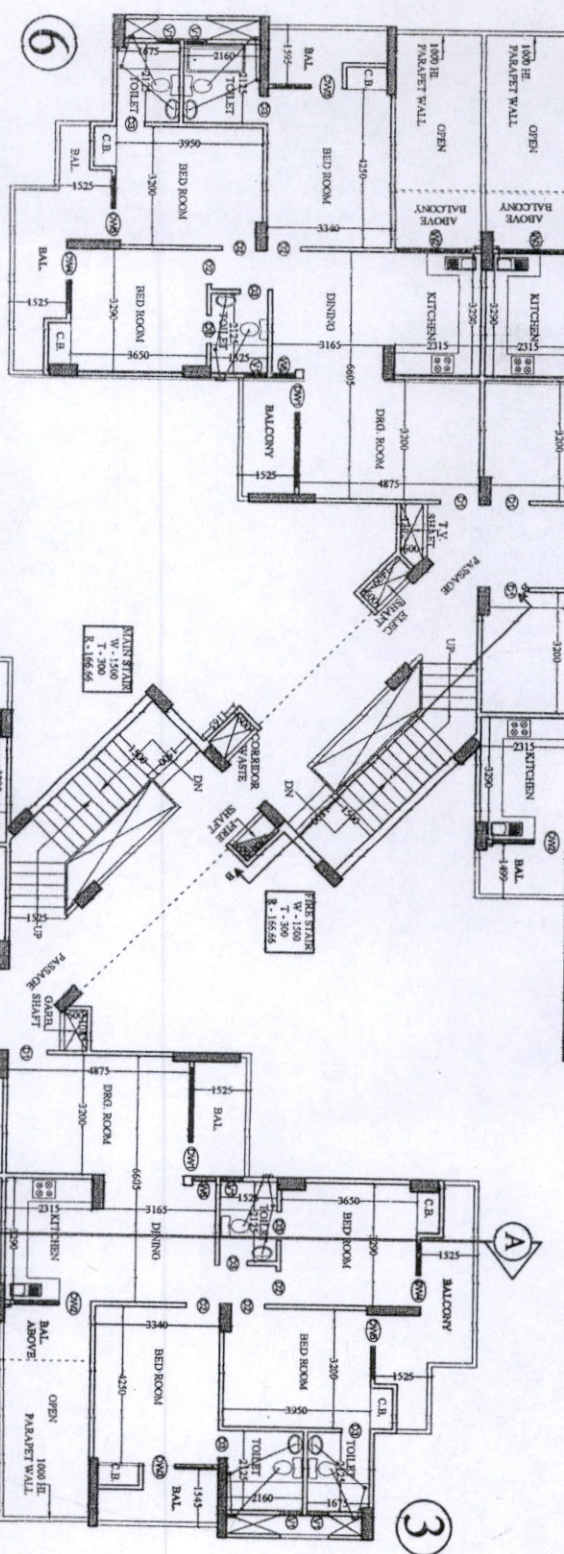
PROJECT:		CROSSINGS REPUBLIC GHAZIABAD, U.P.
OWNER:	CROSSINGS RE	H-174, SEC-63, I
THROUGH:	MR. MAN	
DRAWING TITLE:		SITE SEWER & SUB S
SCALE	DEALT BY	CHECK
DRAWN BY		



NO	1	2	3	4	5
DATE	1	2	3	4	5
BY	1	2	3	4	5
CHK	1	2	3	4	5
APP	1	2	3	4	5

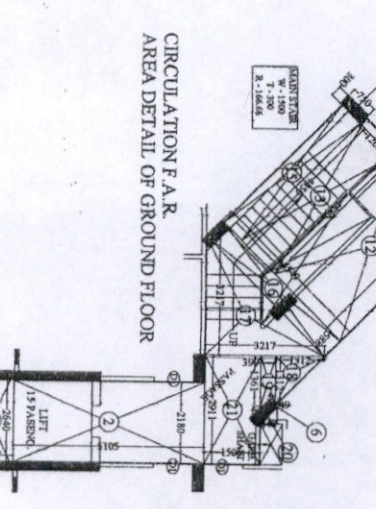


D3	2960 X 2500	450	2500
DW1	2050 X 2500	1150	2500
DW2	1950 X 2500	1150	2500
DW3	1860 X 2500	450	2500
DW4	1740 X 2500	450	2500
DW5	1720 X 2500	450	2500
DW6	1250 X 2050	450	2500
W1	650 X 2050	450	2500
W2	600 X 1000	1500	2500
V1			



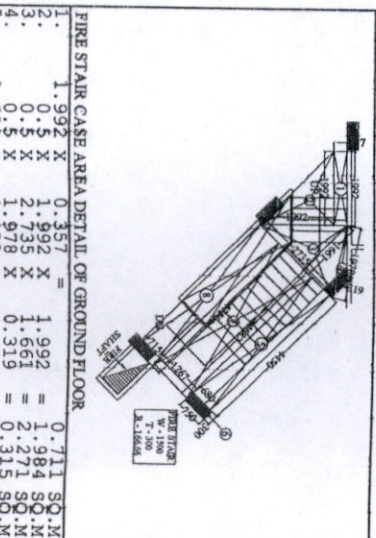
BLOCK-K1
EXISTING GROUND FLOOR PLAN

ELEVATION-A



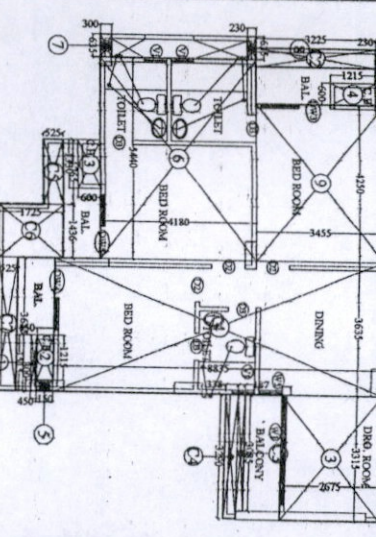
CIRCULATION FAR AREA DETAIL OF GROUND FLOOR

1.	2.640	X	1.188	=	3.136	SQ.M
2.	2.180	X	1.105	=	2.409	SQ.M
3.	1.906	X	1.500	=	2.859	SQ.M
4.	1.068	X	1.905	=	2.035	SQ.M
5.	0.3	X	0.494	=	0.148	SQ.M
6.	0.3	X	0.494	=	0.148	SQ.M
7.	0.3	X	0.494	=	0.148	SQ.M
8.	0.720	X	1.019	=	0.734	SQ.M
9.	0.5	X	1.095	=	0.544	SQ.M
10.	1.815	X	0.519	=	0.943	SQ.M
11.	2.530	X	0.750	=	1.898	SQ.M
12.	4.680	X	0.300	=	1.404	SQ.M
13.	0.679	X	4.450	=	3.011	SQ.M
14.	0.549	X	0.588	=	0.321	SQ.M
15.	0.5	X	3.217	=	1.609	SQ.M
16.	0.399	X	1.312	=	0.524	SQ.M
17.	0.5	X	0.361	=	0.181	SQ.M
18.	0.5	X	0.448	=	0.224	SQ.M
19.	0.5	X		=		
20.	0.5	X		=		
TOTAL					22.258	SQ.M

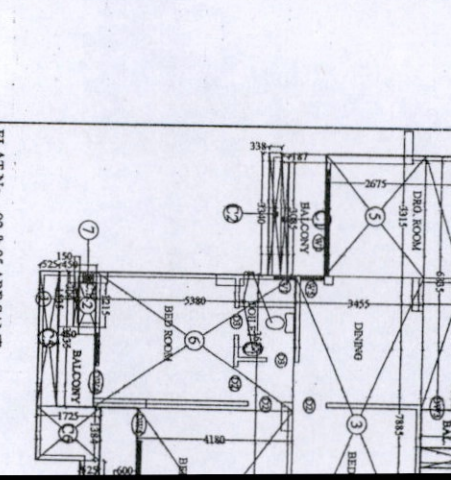


FIRE STAIR CASE AREA DETAIL OF GROUND FLOOR

1.	1.992	X	0.337	=	0.671	SQ.M
2.	0.5	X	1.992	=	1.000	SQ.M
3.	0.5	X	2.735	=	1.368	SQ.M
4.	0.5	X	1.978	=	0.989	SQ.M
5.	0.5	X	0.319	=	0.159	SQ.M
TOTAL					4.207	SQ.M



FLAT No. -01 & 04 ARE SAME
GROUND TO 16th FLOOR



FLAT No. -02 & 05 ARE SAME
GROUND TO 16th FLOOR

FAR AREA DETAIL OF GROUND FLOOR

FLAT No. -01 & 04 ARE SAME	98.188	2 No.	196.376	SQ.M
FLAT No. -02 & 05 ARE SAME	98.264	2 No.	196.528	SQ.M
FLAT No. -03 & 06 ARE SAME	97.645	2 No.	195.290	SQ.M
TOTAL FLAT AREA			588.194	SQ.M
TOTAL AREA OF GROUND FLOOR	80.531	1 No.	80.531	SQ.M
TOTAL AREA OF GROUND FLOOR			668.725	SQ.M

CUPBOARD FAR AREA DETAIL

1.	1.515	X	0.150	=	0.227	SQ.M
2.	1.215	X	0.450	=	0.547	SQ.M
3.	1.330	X	0.600	=	0.798	SQ.M
4.	0.600	X	1.215	=	0.729	SQ.M
TOTAL					2.301	SQ.M

TOTAL FAR AREA DETAIL = 95.887 + 2.301 = 98.188 SQ.M

BALCONY IN COMPOUNDING AREA DETAIL

1st. TO 13th. FLOOR						
C1.	0.550	X	2.430	=	1.337	SQ.M
C2.	0.526	X	3.225	=	1.696	SQ.M
C3.	3.085	X	0.187	=	0.577	SQ.M
C4.	3.289	X	0.337	=	1.108	SQ.M
C5.	1.764	X	0.325	=	0.572	SQ.M
C6.	1.436	X	1.725	=	2.477	SQ.M
C7.	3.635	X	0.325	=	1.908	SQ.M
TOTAL					10.029	SQ.M

For Registration with Promoters Pvt. Ltd.
Director

PROJECT: REVISED COMP. GROUP HOUSING CROSSINGS RE. GHAZIABAD, U.P.

OWNER: CROSSINGS IN GLASS GATE V

THROUGH: MR. MANOJ GAU

DRAWING TITLE: BLOCK K1 AND AREA

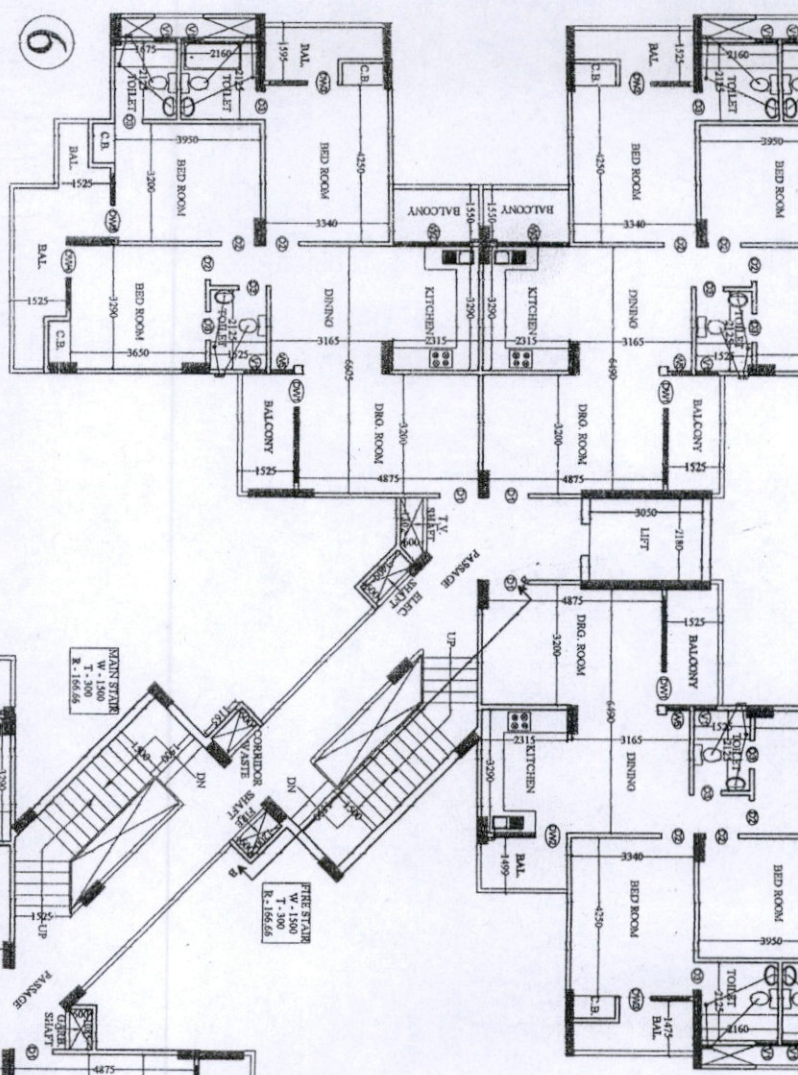
SCALE: AS SHOWN

DATE: 15/08/2011

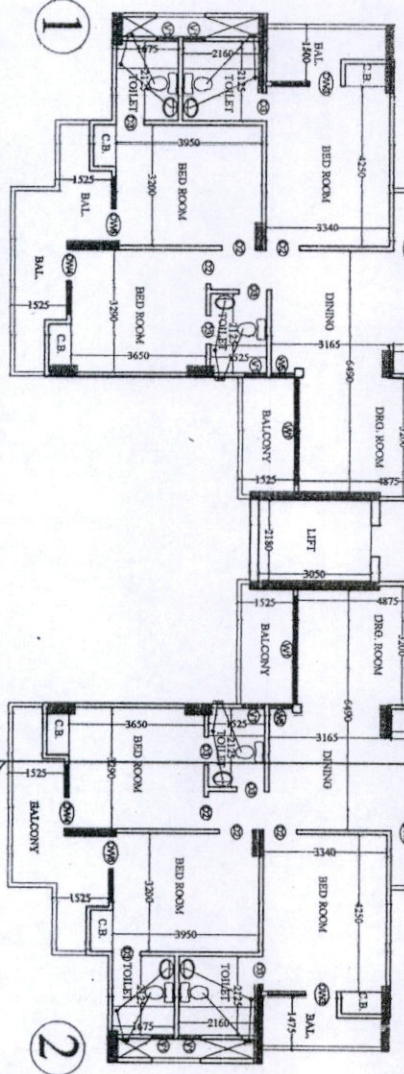
PROJECT NO: 15/08/2011

AREA: 668.725 SQ.M

DW1	2900 X 2500	450	2500
DW2	2050 X 2500	1150	2500
DW3	1950 X 2500	1150	2500
DW4	1850 X 2500	450	2500
DW5	1740 X 2500	450	2500
DW6	1720 X 2500	450	2500
DW7	1250 X 2050	450	2500
W2	650 X 2050	450	2500
W1	650 X 1000	1500	2500



BLOCK - K1
EXISTING 1st. to 13th. FLOOR PLAN

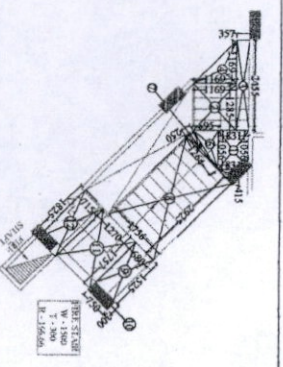


CIRCULATION FAR AREA
DETAIL OF 1st. TO 16th. FLOOR

1.	2.180 X	2.050 X	2 =	13.238 SQ.M
2.	0.910 X	2.271 X		2.067 SQ.M
3.	0.5 X	0.910 X		0.414 SQ.M
4.	0.81 X	0.734 X		0.269 SQ.M
5.	0.3 X	0.250 X		0.079 SQ.M
6.	0.281 X	0.281 X		0.140 SQ.M
7.	0.5 X	0.250 X		0.125 SQ.M
8.	0.25 X	0.336 X		0.084 SQ.M
9.	0.5 X	0.336 X		0.168 SQ.M
TOTAL				18.553 SQ.M

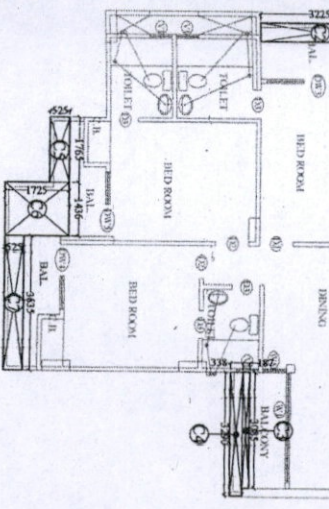
CIRCULATION FAR AREA
DETAIL OF 1st. TO 16th. FLOOR

1.	1.056 X	0.831 X		0.878 SQ.M
2.	1.483 X	1.169 X		1.502 SQ.M
3.	0.357 X	0.357 X		0.127 SQ.M
4.	0.3 X	0.415 X		0.125 SQ.M
5.	0.189 X	0.695 X		0.132 SQ.M
6.	0.3 X	0.250 X		0.075 SQ.M
7.	1.756 X	1.525 X		2.678 SQ.M
8.	0.680 X	1.525 X		1.037 SQ.M
9.	0.750 X	0.300 X		0.225 SQ.M
TOTAL				10.225 SQ.M



FIRE STAIR CASE AREA
DETAIL OF 1st. TO 16th. FLOOR

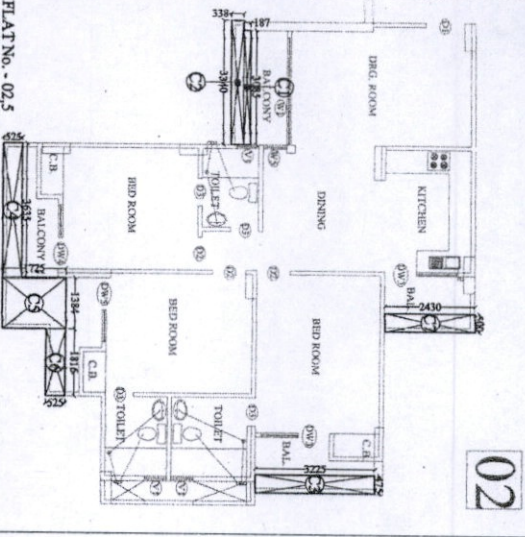
1.	1.056 X	0.831 X		0.878 SQ.M
2.	1.483 X	1.169 X		1.502 SQ.M
3.	0.357 X	0.357 X		0.127 SQ.M
4.	0.3 X	0.415 X		0.125 SQ.M
5.	0.189 X	0.695 X		0.132 SQ.M
6.	0.3 X	0.250 X		0.075 SQ.M
7.	1.756 X	1.525 X		2.678 SQ.M
8.	0.680 X	1.525 X		1.037 SQ.M
9.	0.750 X	0.300 X		0.225 SQ.M
TOTAL				10.225 SQ.M



FLAT No. -01.04
1st. TO 13th. FLOOR

BALCONY IN COMPOUNDING AREA DETAIL

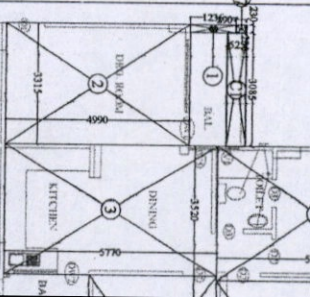
C1.	0.550 X	2.430 X		1.337 SQ.M
C2.	0.526 X	3.225 X		1.696 SQ.M
C3.	3.085 X	0.187 X		0.577 SQ.M
C4.	3.289 X	0.337 X		1.108 SQ.M
C5.	1.764 X	0.525 X		0.926 SQ.M
C6.	1.436 X	1.725 X		2.477 SQ.M
C7.	3.635 X	0.525 X		1.908 SQ.M
TOTAL				10.029 SQ.M



FLAT No. -02.5
1st. TO 13th. FLOOR

BALCONY IN COMPOUNDING AREA

C1.	3.085 X	0.187 X		0.577 SQ.M
C2.	3.340 X	0.339 X		1.132 SQ.M
C3.	0.473 X	0.322 X		0.153 SQ.M
C4.	0.633 X	1.0.722 X		0.457 SQ.M
C5.	1.389 X	0.525 X		0.728 SQ.M
C6.	1.815 X	2.430 X		4.413 SQ.M
C7.	1.500 X	0.525 X		0.788 SQ.M
TOTAL				9.701 SQ.M



FLAT No. -09 & 06 ARE SAME
GROUND TO 16th. FLOOR

FAR AREA DETAIL

1.	0.230 X	1.236 X		0.285 SQ.M
2.	3.315 X	4.990 X		16.553 SQ.M
3.	3.520 X	5.770 X		20.298 SQ.M
4.	4.365 X	3.455 X		15.083 SQ.M
5.	1.570 X	0.230 X		0.361 SQ.M
6.	3.635 X	5.380 X		19.548 SQ.M
7.	0.300 X	0.450 X		0.135 SQ.M
8.	5.440 X	4.180 X		22.736 SQ.M
9.	0.635 X	0.230 X		0.146 SQ.M
10.	0.635 X	0.300 X		0.191 SQ.M
TOTAL				95.344 SQ.M

CUPBOARD FAR AREA DETAIL

1.	1.515 X	0.150 X		0.227 SQ.M
2.	1.215 X	0.500 X		0.608 SQ.M
3.	1.350 X	0.600 X		0.810 SQ.M
4.	0.600 X	1.215 X		0.729 SQ.M
TOTAL				2.374 SQ.M

BALCONY IN COMPOUNDING AREA
EXISTING 1st. TO 13th. FLOOR

FLAT NO. -01	8.34	8.34	8.34	8.34
FLAT NO. -02	7.93	7.93	7.93	7.93
FLAT NO. -03	11.24	11.24	11.24	11.24
FLAT NO. -04	10.02	10.02	10.02	10.02
FLAT NO. -05	10.09	10.09	10.09	10.09
FLAT NO. -06	10.09	10.09	10.09	10.09
TOTAL AREA	56.10	56.10	56.10	56.10

For Global India Infra Promoters Pvt. Ltd.

Pandeyan
Director

PROJECT: REVISED COMPOUNDING GROUP HOUSING CROSSINGS IN GHAZIABAD, U.P.

OWNER: CROSSINGS IN GLASS GATE V

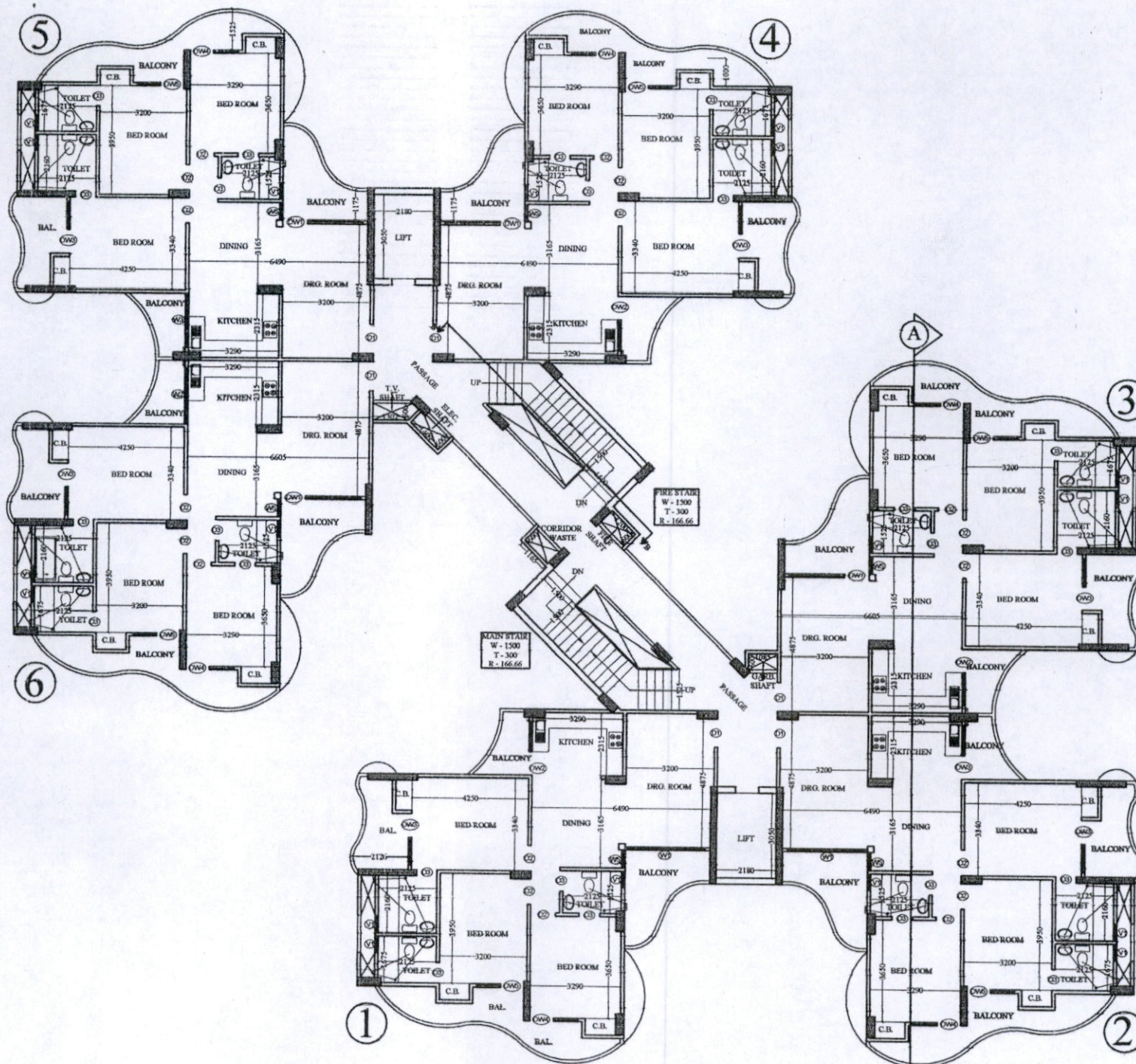
THROUGH: MR. MANOJ GAL

DRAWING TITLE: BLO

EXISTING FAR AREA/DETAIL: 9.701 SQ.M

NEW FAR AREA/DETAIL: 9.701 SQ.M

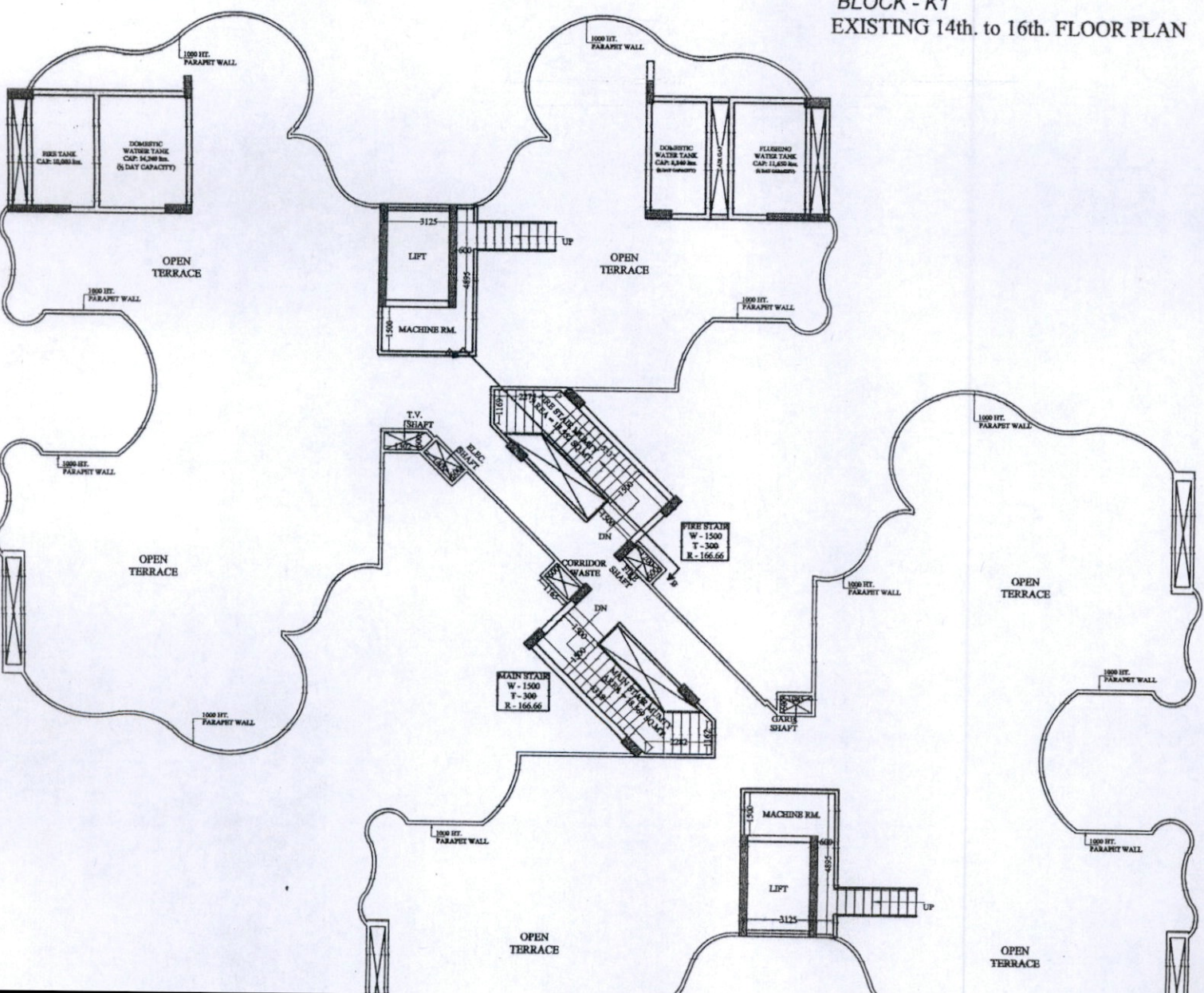
TOTAL FAR AREA: 19.402 SQ.M



BLOCK - K1
EXISTING 14th. to 16th. FLOOR PLAN

For Global India Infra Promoters Pvt. Ltd.

R. Srinivasan
Director

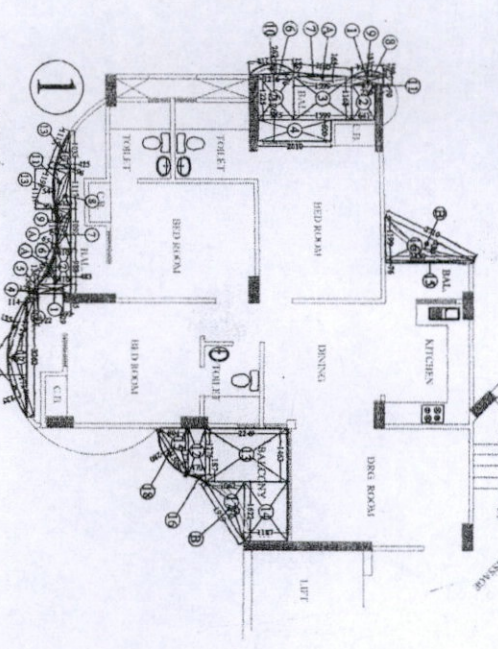


PROJECT:
REVISED COMPOUNDING
GROUP HOUSING PLOT N
CROSSINGS REPUBLIK, VI
GHAZIABAD, U.P.

OWNER:
CROSSINGS INFRASTRUC
GLASS GATE VILLAGE/DU

THROUGH:
MR. MANOJ GAUR (DIRECTOR)

VISHAL
CA/982
AR



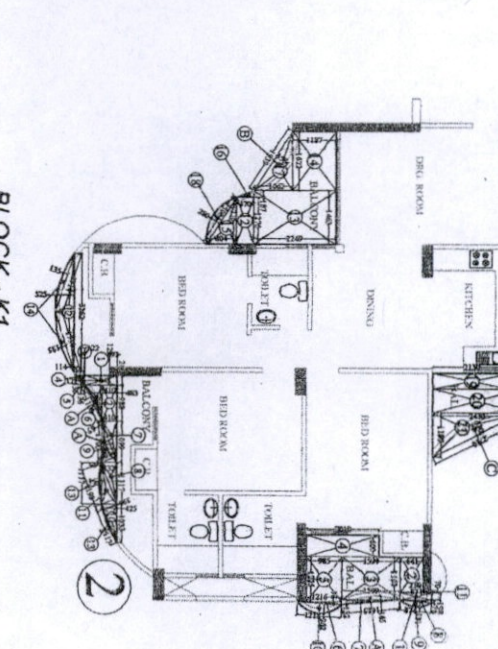
BLOCK - K1
EXISTING 14th. to 16th. FLOOR
BALCONY IN F.A.R. AREA DETAIL
& BALCONY IN COMPOUNDING AREA DETAIL

FLAT NO. 1 & 4 ARE SAME
BALCONY IN COMPOUNDING AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.265 X	0.893	=	0.237	SQ.M	
2.	0.988 X	0.410	=	0.405	SQ.M	
3.	0.136 X	0.112	=	0.017	SQ.M	
4.	0.136 X	0.112	=	0.017	SQ.M	
5.	0.3 X	0.122	=	0.008	SQ.M	
6.	0.3 X	0.122	=	0.008	SQ.M	
7.	0.3 X	0.122	=	0.008	SQ.M	
8.	0.3 X	0.122	=	0.008	SQ.M	
9.	0.3 X	0.122	=	0.008	SQ.M	
10.	0.3 X	0.122	=	0.008	SQ.M	
11.	0.3 X	0.122	=	0.008	SQ.M	
12.	0.3 X	0.122	=	0.008	SQ.M	
13.	0.3 X	0.122	=	0.008	SQ.M	
14.	0.3 X	0.122	=	0.008	SQ.M	
15.	0.3 X	0.122	=	0.008	SQ.M	
16.	0.3 X	0.122	=	0.008	SQ.M	
TOTAL ADDITIONS =				4.961	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.100 X	0.065 X 2 =	0.095	SQ.M	
B.	2 / 3 X	2.710 X	0.330	0.596	SQ.M	
TOTAL DEDUCTIONS =				0.691	SQ.M	
NET AREA =	4.961	-	0.691	=	4.270	SQ.M

FLAT NO. 1 & 4 ARE SAME
BALCONY IN F.A.R. AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.198 X	0.871	=	0.172	SQ.M	
2.	0.970 X	0.641	=	0.622	SQ.M	
3.	1.168 X	1.599	=	1.168	SQ.M	
4.	0.600 X	2.010	=	0.599	SQ.M	
5.	1.325 X	0.985	=	1.207	SQ.M	
6.	0.5 X	0.132	=	0.106	SQ.M	
7.	0.5 X	0.132	=	0.106	SQ.M	
8.	0.5 X	0.132	=	0.106	SQ.M	
9.	0.5 X	0.132	=	0.106	SQ.M	
10.	0.5 X	0.132	=	0.106	SQ.M	
11.	0.5 X	0.132	=	0.106	SQ.M	
12.	0.5 X	0.132	=	0.106	SQ.M	
13.	0.5 X	0.132	=	0.106	SQ.M	
14.	0.5 X	0.132	=	0.106	SQ.M	
15.	0.5 X	0.132	=	0.106	SQ.M	
16.	0.5 X	0.132	=	0.106	SQ.M	
17.	0.5 X	0.132	=	0.106	SQ.M	
18.	0.5 X	0.132	=	0.106	SQ.M	
TOTAL				13.079	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.605 X	0.165	0.177	SQ.M	
B.	2 / 3 X	1.939 X	0.358	0.463	SQ.M	
TOTAL DEDUCTIONS =				0.640	SQ.M	
NET AREA =	13.079	-	0.640	=	12.439	SQ.M



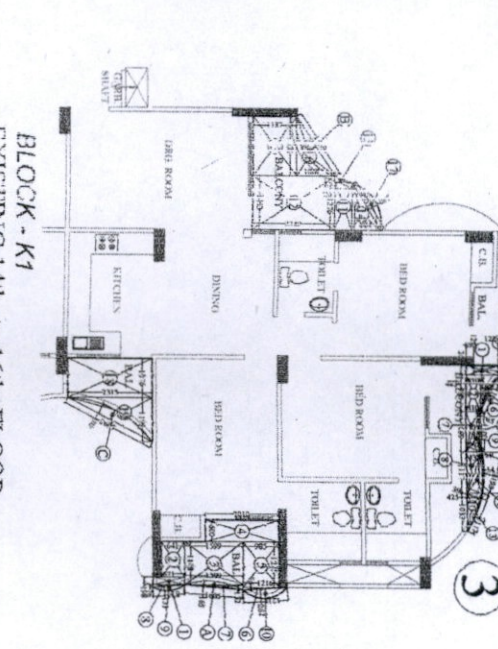
BLOCK - K1
EXISTING 14th. to 16th. FLOOR
BALCONY IN F.A.R. AREA DETAIL
& BALCONY IN COMPOUNDING AREA DETAIL

FLAT NO. 2 & 5 ARE SAME
BALCONY IN COMPOUNDING AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.265 X	0.893	=	0.237	SQ.M	
2.	0.988 X	0.410	=	0.405	SQ.M	
3.	0.136 X	0.112	=	0.017	SQ.M	
4.	0.136 X	0.112	=	0.017	SQ.M	
5.	0.3 X	0.122	=	0.008	SQ.M	
6.	0.3 X	0.122	=	0.008	SQ.M	
7.	0.3 X	0.122	=	0.008	SQ.M	
8.	0.3 X	0.122	=	0.008	SQ.M	
9.	0.3 X	0.122	=	0.008	SQ.M	
10.	0.3 X	0.122	=	0.008	SQ.M	
11.	0.3 X	0.122	=	0.008	SQ.M	
12.	0.3 X	0.122	=	0.008	SQ.M	
13.	0.3 X	0.122	=	0.008	SQ.M	
14.	0.3 X	0.122	=	0.008	SQ.M	
TOTAL ADDITIONS =				3.319	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.100 X	0.065 X 2 =	0.095	SQ.M	
TOTAL DEDUCTIONS =				0.095	SQ.M	
NET AREA =	3.319	-	0.095	=	3.224	SQ.M

FLAT NO. 2 & 5 ARE SAME
BALCONY IN F.A.R. AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.198 X	0.871	=	0.172	SQ.M	
2.	0.970 X	0.641	=	0.622	SQ.M	
3.	1.168 X	1.599	=	1.168	SQ.M	
4.	0.600 X	2.010	=	0.599	SQ.M	
5.	1.325 X	0.985	=	1.207	SQ.M	
6.	0.5 X	0.132	=	0.106	SQ.M	
7.	0.5 X	0.132	=	0.106	SQ.M	
8.	0.5 X	0.132	=	0.106	SQ.M	
9.	0.5 X	0.132	=	0.106	SQ.M	
10.	0.5 X	0.132	=	0.106	SQ.M	
11.	0.5 X	0.132	=	0.106	SQ.M	
12.	0.5 X	0.132	=	0.106	SQ.M	
13.	0.5 X	0.132	=	0.106	SQ.M	
14.	0.5 X	0.132	=	0.106	SQ.M	
15.	0.5 X	0.132	=	0.106	SQ.M	
16.	0.5 X	0.132	=	0.106	SQ.M	
17.	0.5 X	0.132	=	0.106	SQ.M	
18.	0.5 X	0.132	=	0.106	SQ.M	
19.	0.5 X	0.132	=	0.106	SQ.M	
20.	0.5 X	0.132	=	0.106	SQ.M	
21.	0.5 X	0.132	=	0.106	SQ.M	
TOTAL				17.019	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.605 X	0.165	0.177	SQ.M	
B.	2 / 3 X	1.939 X	0.358	0.463	SQ.M	
C.	2 / 3 X	2.710 X	0.330	0.596	SQ.M	
TOTAL DEDUCTIONS =				1.236	SQ.M	
NET AREA =	17.019	-	1.236	=	15.783	SQ.M



BLOCK - K1
EXISTING 14th. to 16th. FLOOR
BALCONY IN F.A.R. AREA DETAIL
& BALCONY IN COMPOUNDING AREA DETAIL

FLAT NO. 3 & 6 ARE SAME
BALCONY IN COMPOUNDING AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.265 X	0.893	=	0.237	SQ.M	
2.	0.988 X	0.410	=	0.405	SQ.M	
3.	0.136 X	0.112	=	0.017	SQ.M	
4.	0.136 X	0.112	=	0.017	SQ.M	
5.	0.3 X	0.122	=	0.008	SQ.M	
6.	0.3 X	0.122	=	0.008	SQ.M	
7.	0.3 X	0.122	=	0.008	SQ.M	
8.	0.3 X	0.122	=	0.008	SQ.M	
9.	0.3 X	0.122	=	0.008	SQ.M	
10.	0.3 X	0.122	=	0.008	SQ.M	
11.	0.3 X	0.122	=	0.008	SQ.M	
12.	0.3 X	0.122	=	0.008	SQ.M	
13.	0.3 X	0.122	=	0.008	SQ.M	
14.	0.3 X	0.122	=	0.008	SQ.M	
TOTAL ADDITIONS =				3.319	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.100 X	0.065 X 2 =	0.095	SQ.M	
TOTAL DEDUCTIONS =				0.095	SQ.M	
NET AREA =	3.319	-	0.095	=	3.224	SQ.M

FLAT NO. 3 & 6 ARE SAME
BALCONY IN F.A.R. AREA DETAIL
OF 14th. TO 16th. FLOOR

1.	0.198 X	0.871	=	0.172	SQ.M	
2.	0.970 X	0.641	=	0.622	SQ.M	
3.	1.168 X	1.599	=	1.168	SQ.M	
4.	0.600 X	2.010	=	0.599	SQ.M	
5.	1.325 X	0.985	=	1.207	SQ.M	
6.	0.5 X	0.132	=	0.106	SQ.M	
7.	0.5 X	0.132	=	0.106	SQ.M	
8.	0.5 X	0.132	=	0.106	SQ.M	
9.	0.5 X	0.132	=	0.106	SQ.M	
10.	0.5 X	0.132	=	0.106	SQ.M	
11.	0.5 X	0.132	=	0.106	SQ.M	
12.	0.5 X	0.132	=	0.106	SQ.M	
13.	0.5 X	0.132	=	0.106	SQ.M	
14.	0.5 X	0.132	=	0.106	SQ.M	
15.	0.5 X	0.132	=	0.106	SQ.M	
16.	0.5 X	0.132	=	0.106	SQ.M	
17.	0.5 X	0.132	=	0.106	SQ.M	
18.	0.5 X	0.132	=	0.106	SQ.M	
19.	0.5 X	0.132	=	0.106	SQ.M	
TOTAL				16.942	SQ.M	
STANDARD DEDUCTIONS :-						
A.	2 / 3 X	1.605 X	0.165	0.177	SQ.M	
B.	2 / 3 X	1.939 X	0.358	0.463	SQ.M	
C.	2 / 3 X	2.527 X	0.303	0.527	SQ.M	
TOTAL DEDUCTIONS =				1.167	SQ.M	
NET AREA =	16.942	-	1.167	=	15.775	SQ.M

BLOCK - K1
AREA STATEMENT (PROPOSED IN METER SQUARE)

S NO.	PARTICULARS	AREA IN SQ.M (AS PER PLAN)	UNITS	LEVEL'S (AS PER PLAN)	EXISTING BALCONY AREA IN COMPOUNDING
1	UPPER BALCONY	682.725	06	Lvl + 130	56.10
2	NEW F.A.R. GROUND FLOOR	682.172	06	Lvl + 310	59.12
3	1st FLOOR	682.172	06	Lvl + 610	59.12
4	2nd FLOOR	682.172	06	Lvl + 910	59.12
5	3rd FLOOR	682.172	06	Lvl + 1210	59.12
6	4th FLOOR	682.172	06	Lvl + 1510	59.12
7	5th FLOOR	682.172	06	Lvl + 1810	59.12
8	6th FLOOR	682.172	06	Lvl + 2110	59.12
9	7th FLOOR	682.172	06	Lvl + 2410	59.12
10	8th FLOOR	682.172	06	Lvl + 2710	59.12
11	9th FLOOR	682.172	06	Lvl + 3010	59.12
12	10th FLOOR	682.172	06	Lvl + 3310	59.12
13	11th FLOOR	682.172	06	Lvl + 3610	59.12
14	12th FLOOR	682.172	06	Lvl + 3910	59.12
15	13th FLOOR	682.172	06	Lvl + 4210	21.43
16	14th FLOOR	682.172	06	Lvl + 4510	21.43
17	15th FLOOR	682.172	06	Lvl + 4810	21.43
18	16th FLOOR	682.172	06	Lvl + 5110	21.43
19	TERRACE	11417.118	102		888.95
20	TOTAL				

F.A.R. AREA DETAIL OF 1st. TO 13th. FLOOR

FLAT No.	F.A.R. AREA	No. OF FLAT	TOTAL AREA
FLAT No. - 01 & 04 ARE SAME	98.188	2 No.	196.376 SQ.M
FLAT No. - 02 & 05 ARE SAME	98.284	2 No.	196.568 SQ.M
FLAT No. - 03 & 06 ARE SAME	97.645	3 No.	292.935 SQ.M
TOTAL FLAT AREA			685.879 SQ.M
CIRCULATION F.A.R. AREA OF 1st. FLOOR	80.511 SQ.M	1 No.	80.511 SQ.M
TOTAL AREA IN 1st. FLOOR			766.390 SQ.M

F.A.R. AREA DETAIL OF 14th. TO 16th. FLOOR

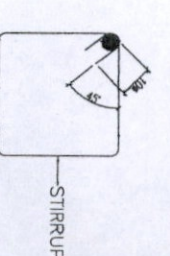
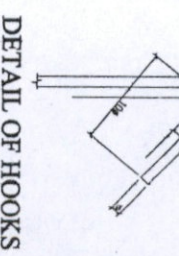
FLAT No.	F.A.R. AREA	No. OF FLAT	TOTAL AREA
FLAT No. - 01 & 04 ARE SAME	112.627	2 No.	225.254 SQ.M
FLAT No. - 02 & 05 ARE SAME	114.047	2 No.	228.094 SQ.M
FLAT No. - 03 & 06 ARE SAME	113.420	2 No.	226.840 SQ.M
TOTAL FLAT AREA			680.188 SQ.M
CIRCULATION F.A.R. AREA OF 14th. FLOOR	80.511 SQ.M	1 No.	80.511 SQ.M
TOTAL AREA IN 14th. FLOOR			760.700 SQ.M

BALCONY IN COMPOUNDING AREA
EXISTING 14th. TO 16th. FLOOR

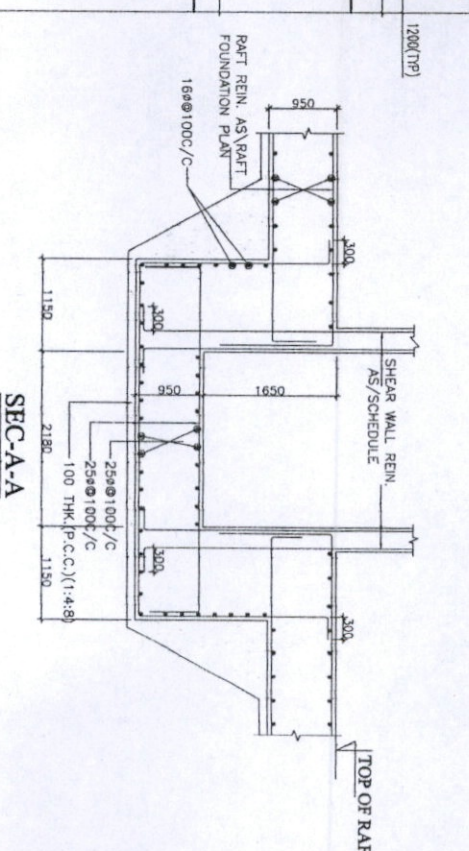
FLAT NO.	EXISTING 14th. TO 16th. FLOOR	EXISTING BALCONY AREA IN COMPOUNDING
FLAT NO - 01	4.270	4.270 SQ.M
FLAT NO - 02	3.224	3.224 SQ.M
FLAT NO - 03	3.224	3.224 SQ.M
FLAT NO - 04	4.270	4.270 SQ.M
FLAT NO - 05	3.224	3.224 SQ.M
FLAT NO - 06	3.224	3.224 SQ.M
TOTAL AREA		

REINFORCEMENT SCHEDULE

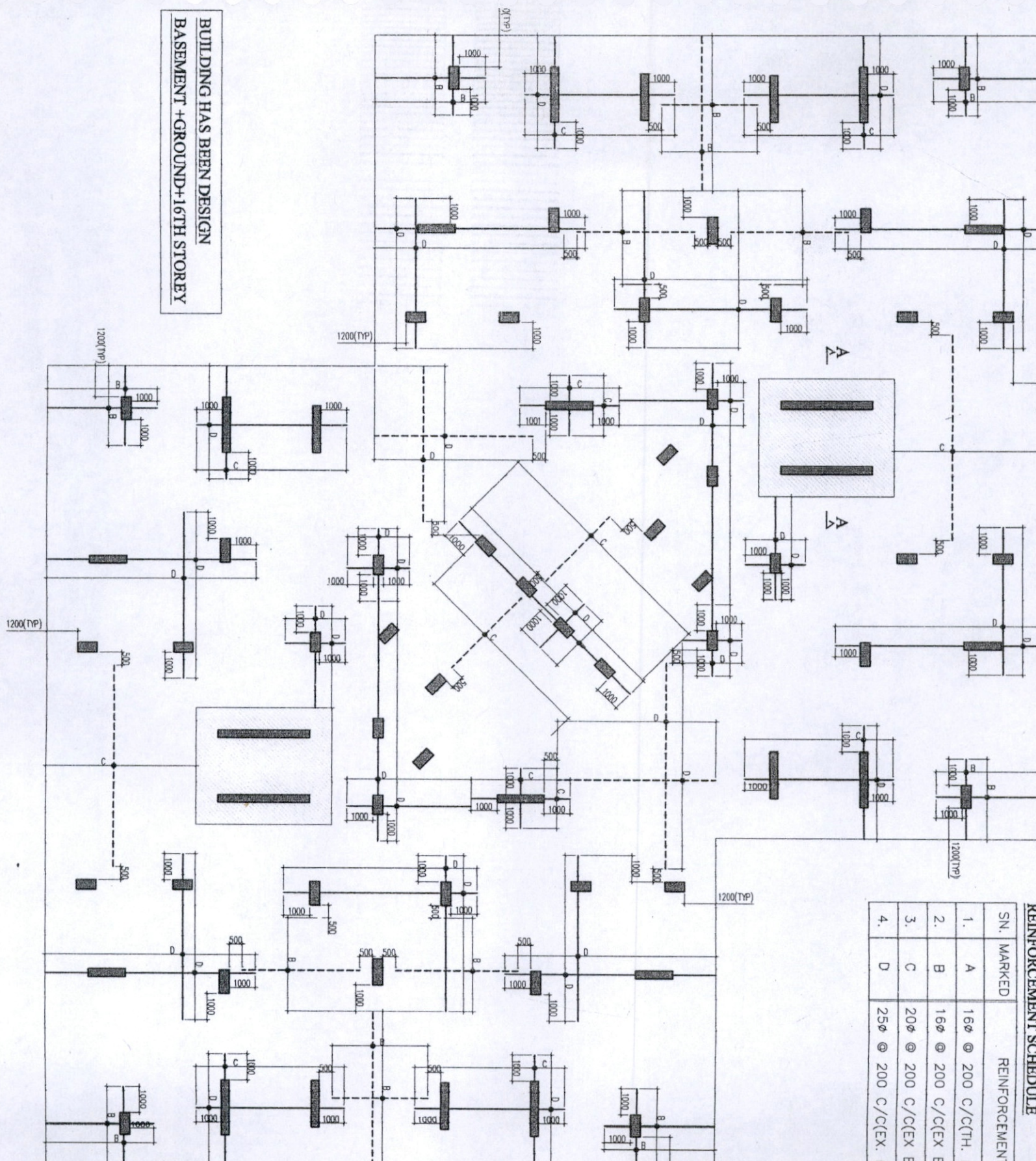
SN. MARKED	REINFORCEMENT
1. A	16 ϕ @ 200 C/C (TH. BOTTOM & TOP BOTH WAYS)
2. B	16 ϕ @ 200 C/C (EX BOTTOM & TOP)
3. C	20 ϕ @ 200 C/C (EX BOTTOM & TOP)
4. D	25 ϕ @ 200 C/C (EX. BOTTOM)



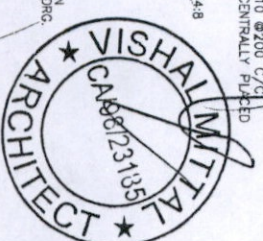
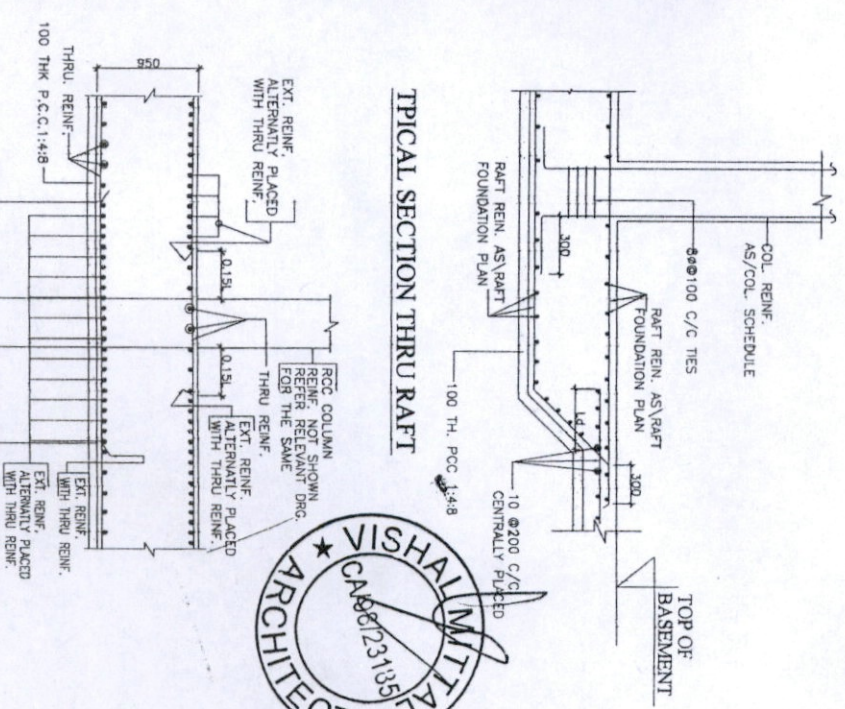
TYPICAL DETAIL OF STIRRUPS/TIES BENDING



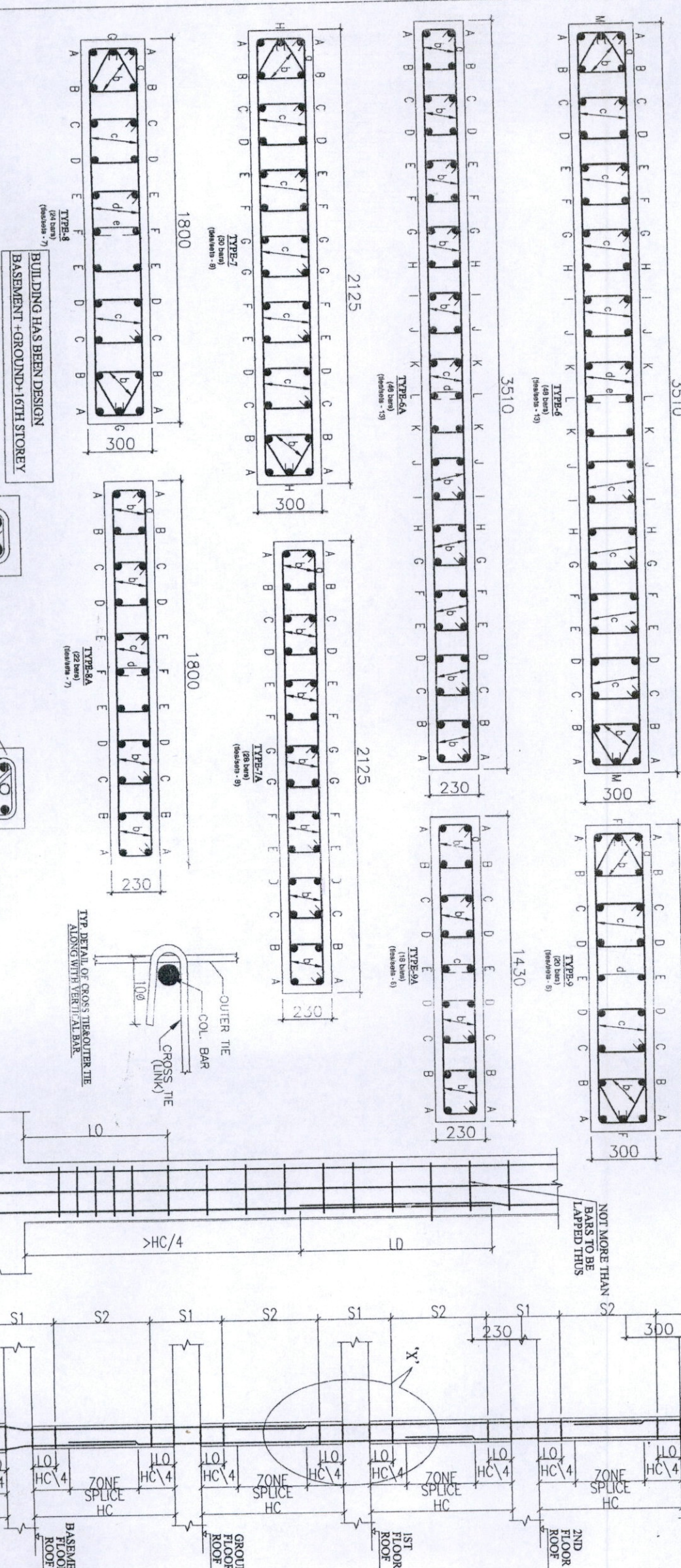
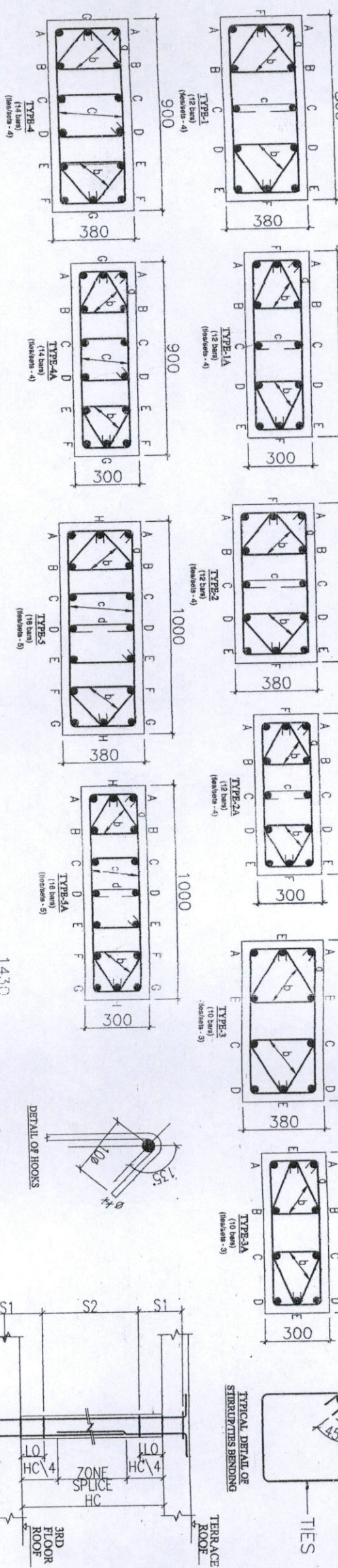
SEC-A-A



TYPICAL SECTION THRU RAFT

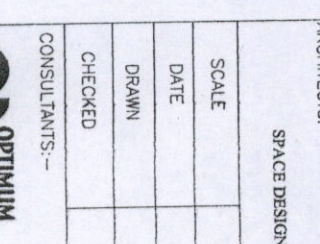
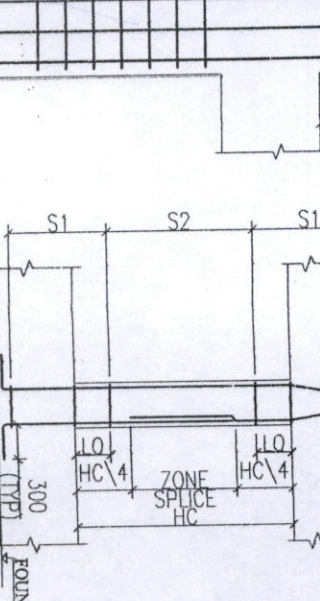
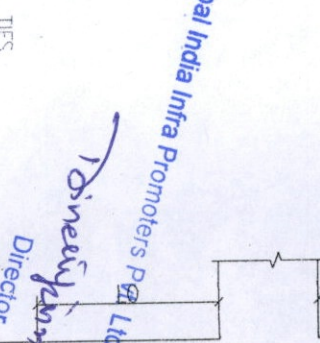
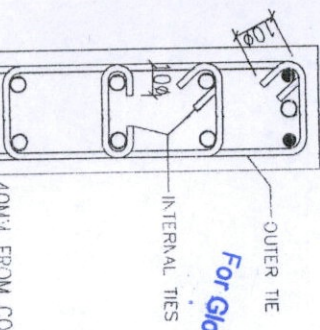
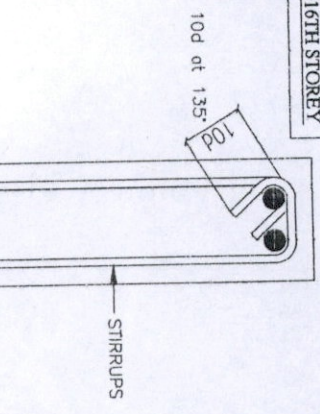


1.1 FOR DIMENSION	1.2 ALL THE DIMEN	1.3 THE GRD DIMEN	1.4 ALL THE STRUC	1.5 REINFORC ARCH	1.6 REINFORC ARCH	1.7 ALL DIMENSION	1.8 ALL DIMENSION	1.9 ALL DIMENSION	2.0 ALL DIMENSION	2.1 ALL DIMENSION	2.2 ALL DIMENSION	2.3 ALL DIMENSION	2.4 ALL DIMENSION	2.5 ALL DIMENSION	2.6 ALL DIMENSION	2.7 ALL DIMENSION	2.8 ALL DIMENSION	2.9 ALL DIMENSION	3.0 ALL DIMENSION
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NOTE ON CURTAINMENT DETAILS OF COLUMNS

1. He IS CLEAR COLUMN HEIGHT.
2. Lo IS GREATER OF
3. S1 - 8 @ 100 C/C (OUTER TIES)
4. TIES SHALL BE SPACED AT 150mm C/C OR SPACING OF S2, WHICHEVER IS LESS OVER THE LAP LENGTH OF Ld IN SPLICE ZONE. DIAMETER



For Global India Infra Promoters Pvt Ltd

Dinesh Kumar
Director

NOT MORE THAN BARS TO BE LAPPED THUS

14. ALL THE STRUCTURAL MEMBERS SHALL BE REINFORCED WITH HY-80 CONCRETE AND ANY REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IS 1786 AND IS 1789. THE REINFORCEMENT SHALL BE PROVIDED AS PER THE DRAWINGS AND SHALL BE CHECKED BY THE ARCHITECT.

15. ALL DIMENSIONS GIVEN IN THE DRAWINGS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

16. ALL DIMENSIONS GIVEN IN THE DRAWINGS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

17. PARTICULAR NOTES GIVEN IN THE DRAWINGS SHALL BE OBSERVED.

18. ALL R.C.C. WORK SHALL BE DONE WITH PORTLAND CEMENT 42.5 GRADE (OPC) AND BRICK WORK SHALL BE DONE WITH M20 MORTAR AND 1:1:6 CEMENT AND SAND MORTAR.

19. ALL R.C.C. WORK SHALL BE DONE WITH PORTLAND CEMENT 42.5 GRADE (OPC) AND BRICK WORK SHALL BE DONE WITH M20 MORTAR AND 1:1:6 CEMENT AND SAND MORTAR.

20. ALL R.C.C. WORK SHALL BE DONE WITH PORTLAND CEMENT 42.5 GRADE (OPC) AND BRICK WORK SHALL BE DONE WITH M20 MORTAR AND 1:1:6 CEMENT AND SAND MORTAR.

21. CLEAR COVER TO MAIN REINFORCEMENT SHALL BE AS PER THE DRAWINGS.

22. GRADE OF CONCRETE SHALL BE AS PER THE DRAWINGS.

23. USE HIGH TENSILE STRENGTH DEFORMED BARS.

24. ALL THE R.C.C. WORK SHALL BE CHECKED WITH RELEVANT CODE.

25. IN COLUMN NOT MORE THAN ONE THIRD OF MAIN BARS BE OVERLAPPED AT ANY SECTION.

26. ALL THE MAIN BARS MUST HAVE ANCHORAGE DEVELOPMENT LENGTH (Ld) AS PER IS 456.

27. DEVELOPMENT LENGTH FOR REINFORCEMENT SHALL BE AS PER IS 456.

28. FOR M-30 CONCRETE - 38D (D IS DIA) FOR M-35 CONCRETE - 38D (D IS DIA) FOR M-40 CONCRETE - 38D (D IS DIA)

29. REINFORCEMENT BARS IN SLABS SHALL BE PROVIDED AS PER THE DRAWINGS AND SHALL BE CHECKED BY THE ARCHITECT.

30. INDICATED BUT REQUIRED AS PER ENGINEER'S REQUIREMENT IN S.P. FOUNDATION SHALL BE PROVIDED AS PER IS 456 (PART 1) AT THE REQUIRED LEVEL.

31. NO. PER M AREA IN WHICH TOP BARS IN CHAIRS SHOULD BE FINED TO THE MAIN REINFORCEMENT SHALL BE AS PER IS 456.

32. MINIMUM DIAMETER OF CHAIRS FOR SLABS SHALL BE AS PER IS 456.

33. FOR FOUNDATIONS ISAW A TYPICAL CHAIR SHALL BE PROVIDED.

PROJECT:- RESIDENTIAL COMP. "GOLF VISTA" AT CROSSINGS REPUBLIK, N.I.

TITLE:- TYPICAL ARRANGEMENT & SHEAR WALL TO ARCHITECTS:-

SPACE DESIGNER:-

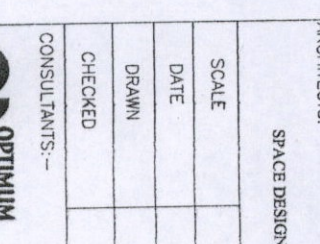
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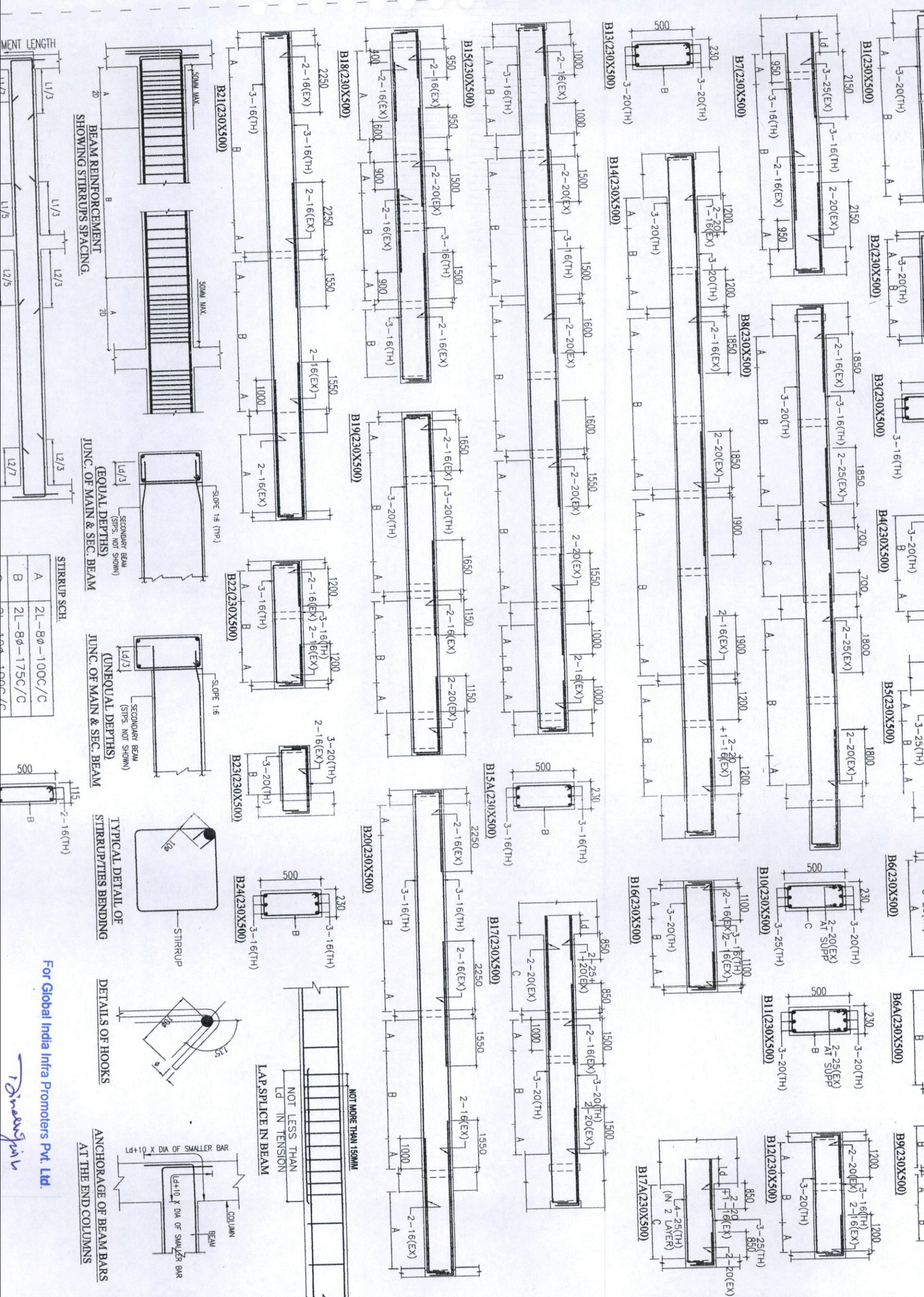
DATE: / /

DRAWN: / /

CHECKED: / /

CONSULTANTS:- OPTIMUM





STIRRUP SCH.

SECTION	STIRRUP
A	2L-8@-100C/C
B	2L-8@-175C/C

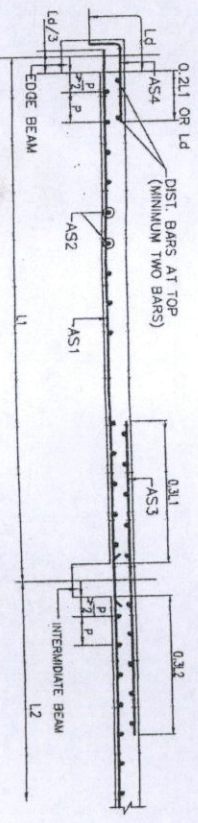
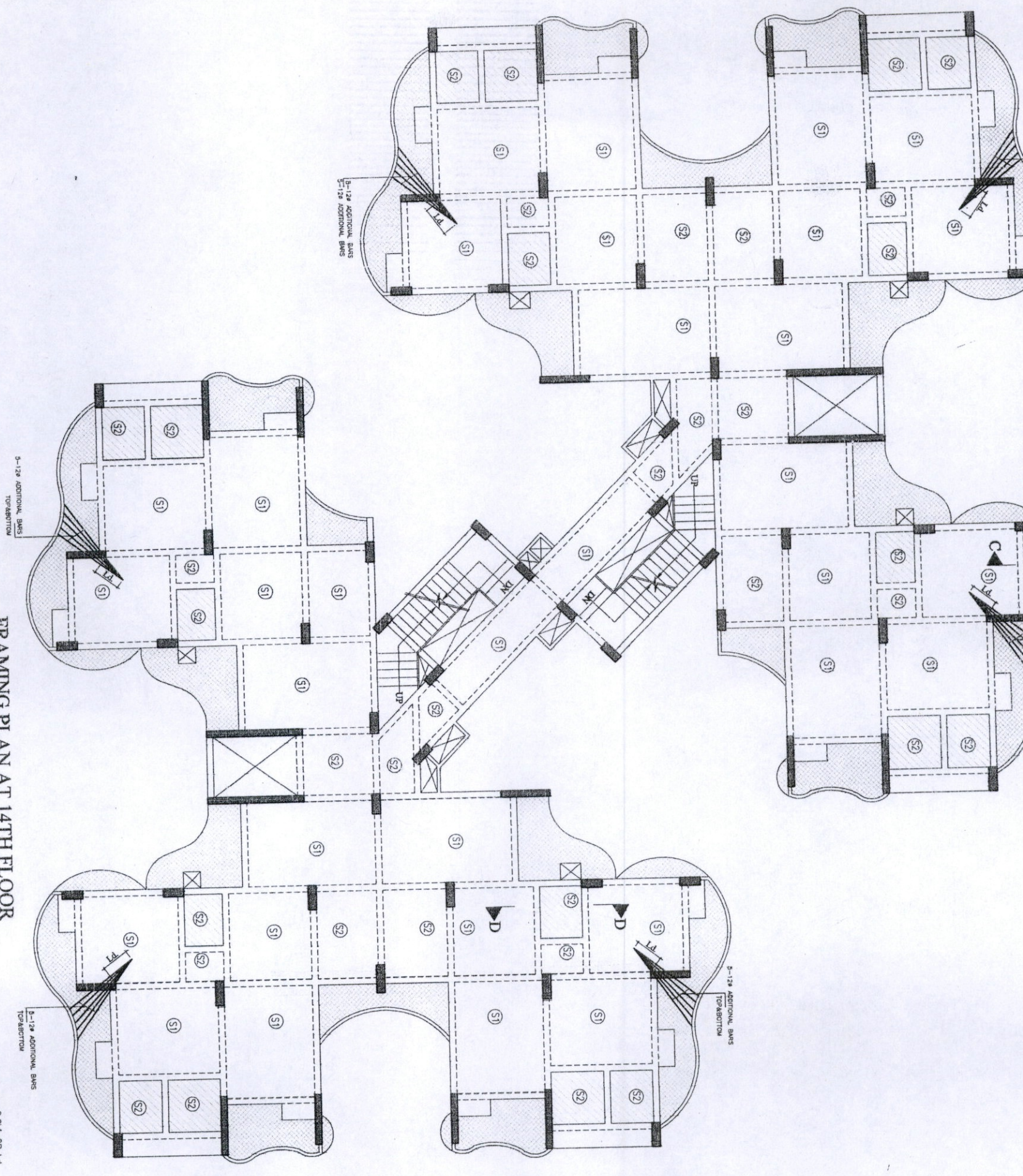
For Global India Promoters Pvt. Ltd.

Vinod Jain

PROJECT: R
 AT CROSSING
 TITLE: BEAM/DE
 PROMOTORS:
 ARCHITECTS:
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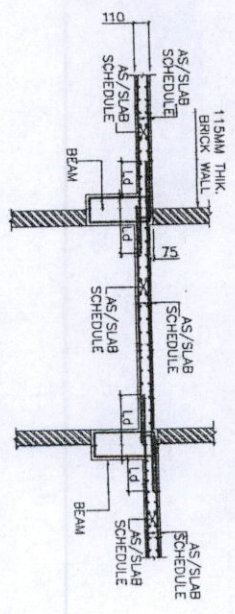
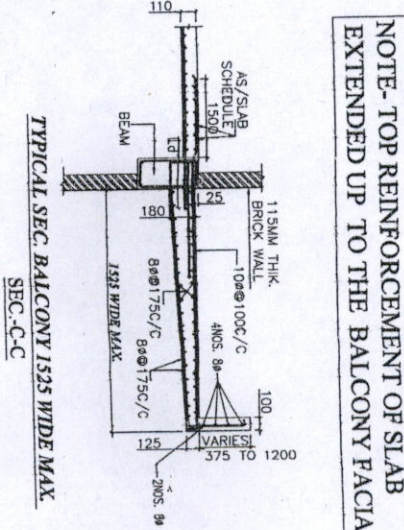
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FRAMING PLAN AT 14TH FLOOR
 TO 16TH FLOOR LVL.

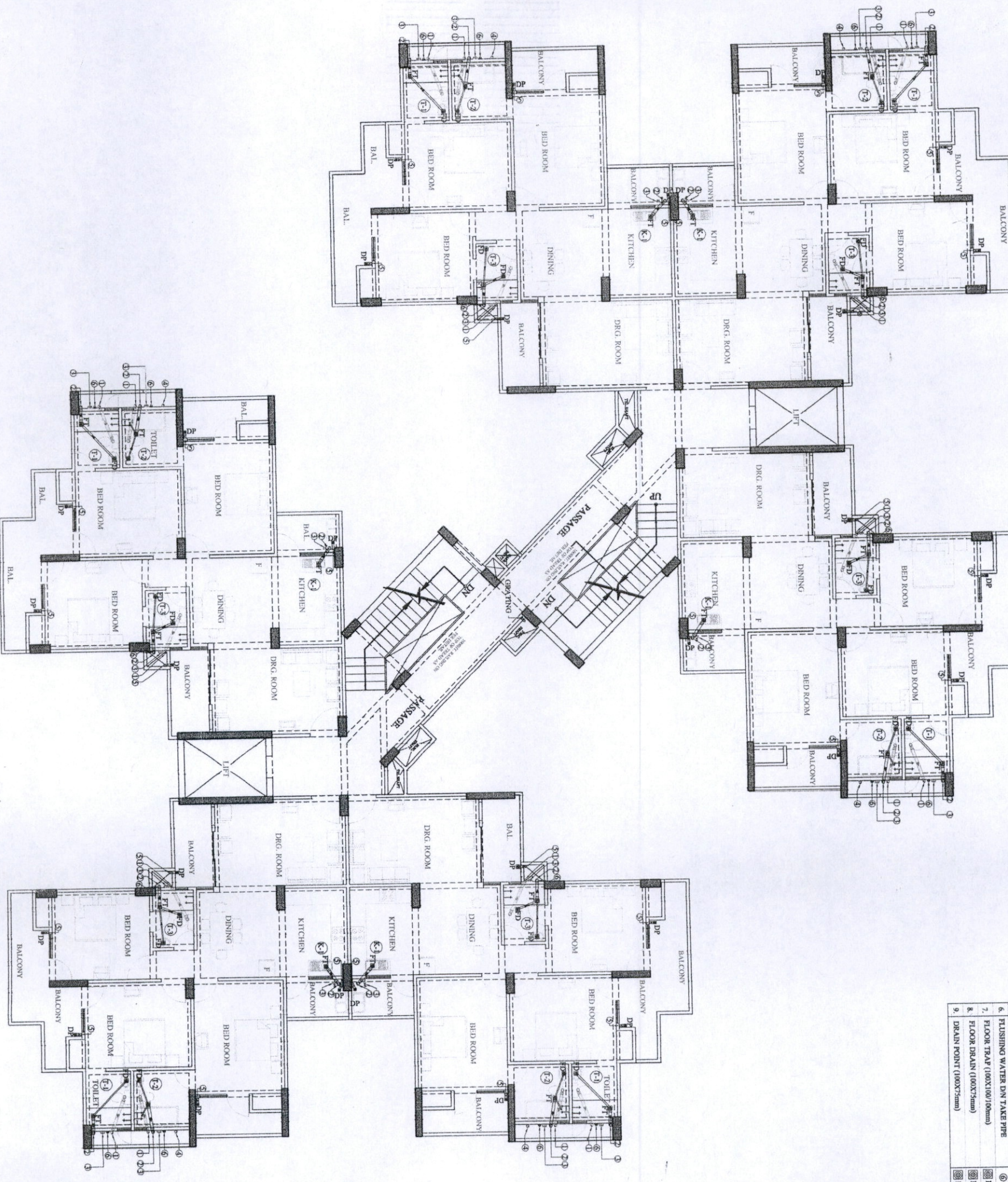


CONC. MIX. SHALL BE M-20 FOR SLAB

SLAB NO.	DEPTH	REINFORCEMENT	SHORTER SPAN	LONGER SPAN
S1	110	8# @ 200 C/C	8# @ 200 C/C	8# @ 200 C/C
S2	110	8# @ 250 C/C	8# @ 250 C/C	8# @ 250 C/C



- 15. DRAWING SHOULD BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATORY AUTHORITY (NBA).
- 16. ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED.
- 17. PARTICULAR NOTES GIVEN IN THE DRAWING SHALL PREVAIL OVER THE GENERAL NOTES.
- 18. ALL R.C.C. WORK SHALL BE DONE AS PER THE R.C.C. SPECIFICATION.
- 19. HALF BRICK WORK SHALL BE DONE AS PER THE BRICKWORK SPECIFICATION.
- 20. REINFORCEMENT SHALL BE DONE AS PER THE REINFORCEMENT SPECIFICATION.
- 21. CLEAR COVER TO REINFORCEMENT SHALL BE AS PER THE REINFORCEMENT SPECIFICATION.
- 22. GRADE OF CONCRETE SHALL BE AS PER THE SPECIFICATION.
- 23. USE HIGH YIELD STEEL.
- 24. ALL THE R.C.C. WORK SHALL BE DONE IN ACCORDANCE WITH THE R.C.C. SPECIFICATION.
- 25. MAIN BARS BE C/W ALL THE BEAM BARS.
- 26. DEVELOPMENT LENGTH SHALL BE AS PER THE SPECIFICATION.
- 27. FOR M-20 CONCRETE, DEVELOPMENT LENGTH SHALL BE AS PER THE SPECIFICATION.
- 28. REINFORCEMENT SHALL BE DONE AS PER THE SPECIFICATION.
- 29. PROVIDE BRICKWORK AS PER THE SPECIFICATION.
- 30. FINISH SHALL BE AS PER THE SPECIFICATION.
- 31. ALL THE WORK SHALL BE DONE AS PER THE SPECIFICATION.
- 32. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATORY AUTHORITY (NBA).
- 33. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATORY AUTHORITY (NBA).
- 34. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATORY AUTHORITY (NBA).
- 35. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATORY AUTHORITY (NBA).



- 6. FLUSHING WATER DN TAKE PIPE
- 7. FLOOR TRAP (100X100/100mm)
- 8. FLOOR DRAIN (100X75mm)
- 9. DRAIN POINT (100X75mm)



NOTES:-

1. ALL PIPE DIAMETER
2. THIS DRAWING IS
3. MANHOLES SH
4. SOIL, WASTE & V
5. ALL HORIZONTAL
6. WATER SUPPLY PI
7. SHALL BE OF C/PV
8. NO PIPE WORK SH
9. ALL WATER SUPPLY
10. WATER INLETS AT
11. ALL STONEWARR
12. FLOOR TRAP: ALL
13. FLOOR DRAIN: DN
14. WASTE PIPES: A-

PIPE SCHEDULE

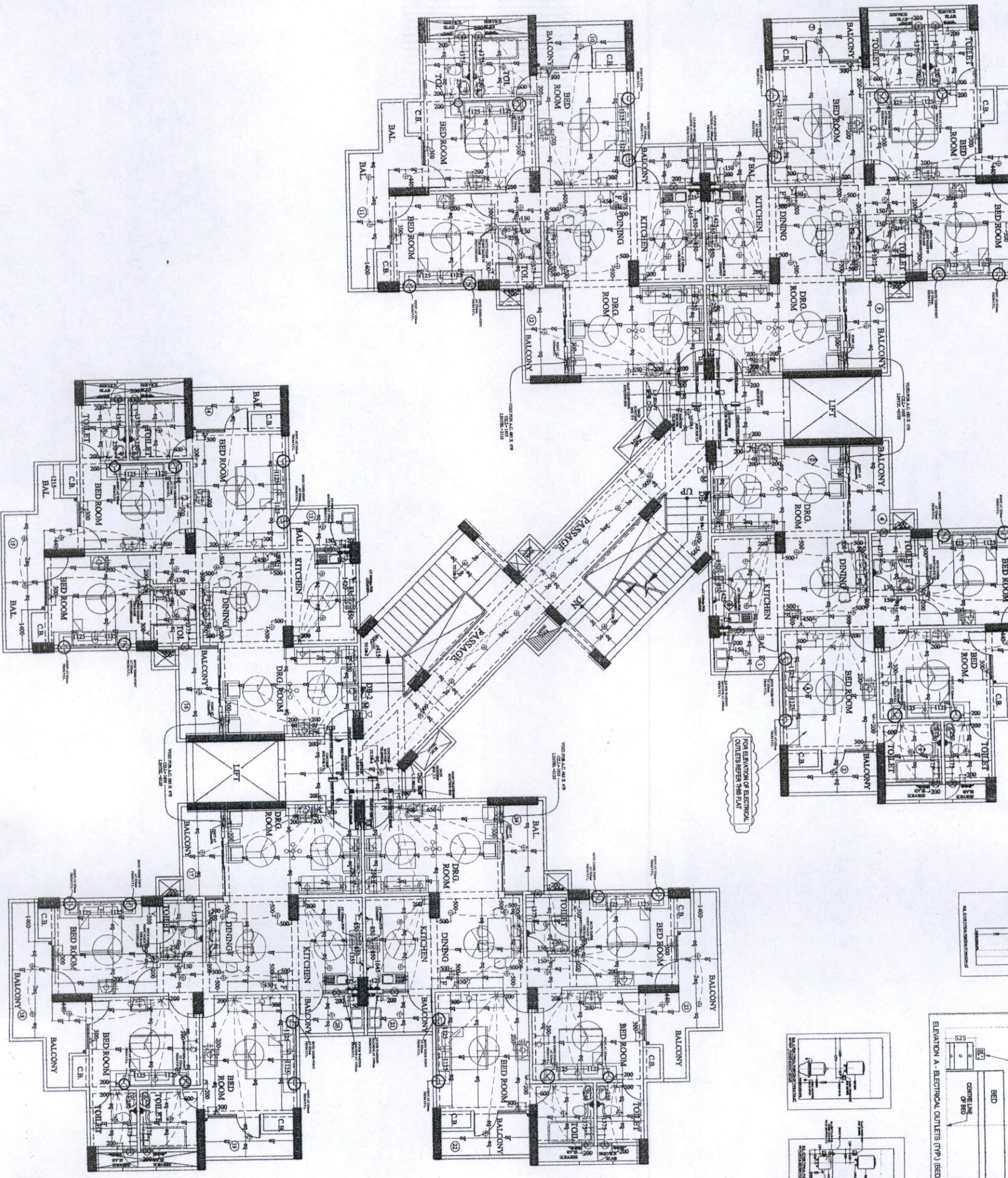
DISCRIPTION	PIPE DIA	ROOM WC	TO
PIPE DIA FROM WC	100	FT	TO
PIPE DIA FROM BALC	75	FT	TO
PIPE DIA FROM BALC	75	FT	TO
PIPE DIA FROM BALC	75	FT	TO
PIPE DIA FROM WC	100	FT	TO
PIPE DIA FROM WC	100	FT	TO

For Global India Infra Promoter

Signature

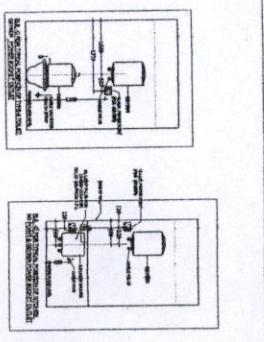
PROJECT: CROSSINGS R GHAZIABAD U
 OWNER: CROSSINGS INFRA
 THROUGH: MR. MANOJ D

OWNERS SIGNATURE
 DRAWING TITLE: TYPICAL



FOR ELEVATION OF ELECTRICAL OUTLETS REFER THIS PLAN

ELEVATION A - ELECTRICAL OUTLETS (TYP.) (BED ROOM)



	CEILING FAN
	EXHAUST FAN
	WALL BRACKET LIGHT
	6A LIGHT PLUG AT 222
	LIGHT PLUG FOR CHIM
	18A POWER PLUG AT 2
	18A SWITCH SOCKET F
	6AMP LUG FOR R.O BE
	POWER SOCKET/PLUG
	18A POWER PLUG AT
	T.V. ANTENNA OUTLET
	TELEPHONE OUTLET
	ONE WAY SWITCH BO
	TWO WAY SWITCH BO
	BELL PUSH AT 1200mm
	BUZZER AT 2400mm F
	HOOTER AT 2400mm F
	MANUAL CALL POINT
	DISTRIBUTION BOARD
	MAIN JUNCTION BOX
	JUNCTION BOX FOR T
	JUNCTION BOX FOR T
	25mm DIA CONDUIT F
	TELEPHONE & T.V

For Global India Infra Prom

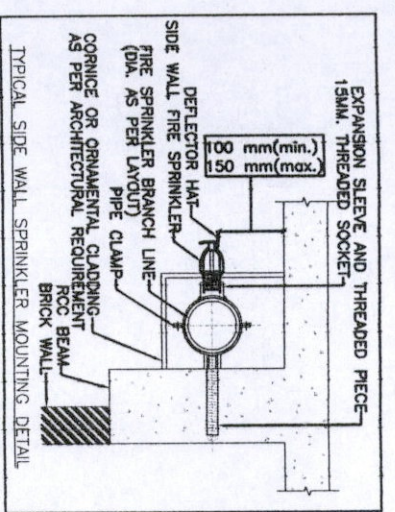
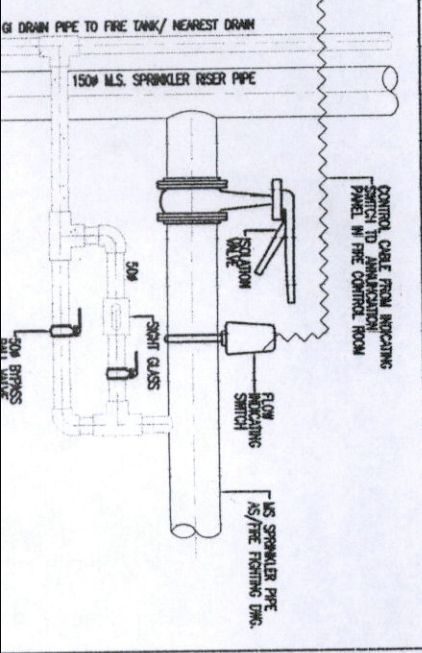
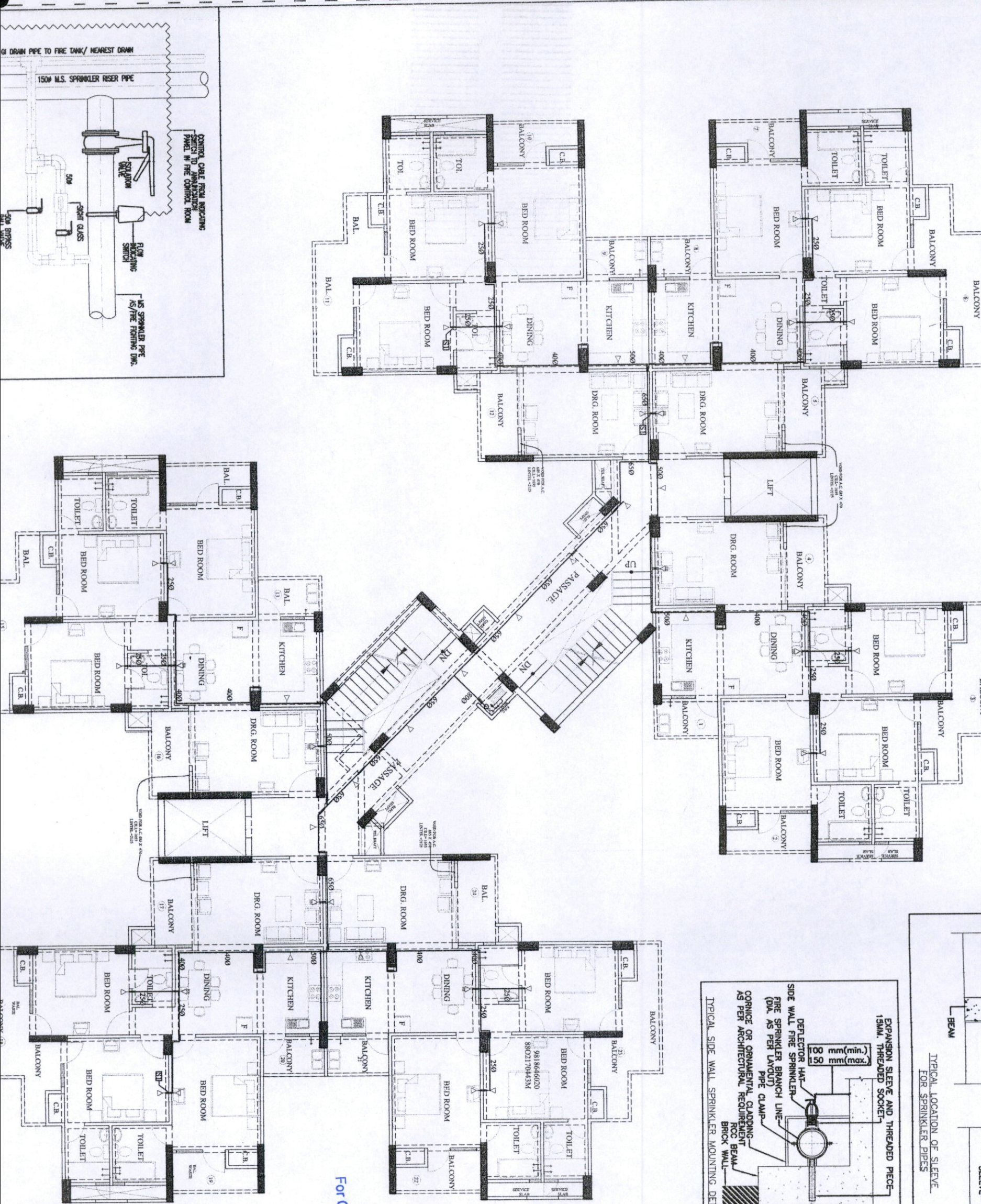
PROJECT:
CROSSINGS REPUBLIK, VIL
GHAZIABAD, U.P.

OWNER:
CROSSINGS INFRASTRUCT
GLASS GATE VILLAGE DUN
THROUGH:
MR. MANOJ GAUR

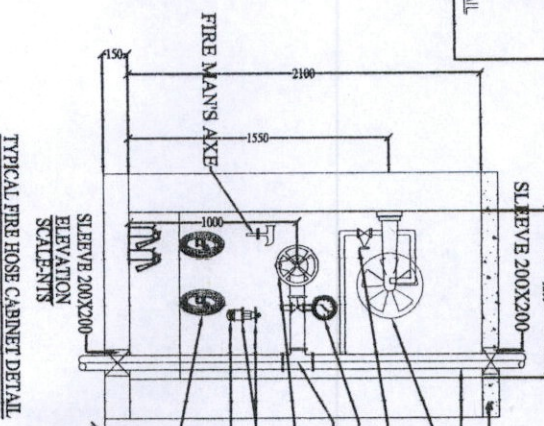


OWNER'S SIGN
DRAWING TITLE :-
TOWE
TYPICAL ELECT

SCALE
DEALT BY



TYPICAL LOCATION OF SLEEVE FOR SPRINKLER PIPES



TYPICAL FIRE HOSE CABINET DETAIL

LEGEND:-

1.	SPRINKLER FEEDER
2.	SIDE WALL SPRINKLER
3.	SIDE WALL SPRINKLER

S.NO.	DIA. OF SLEEVES :-	DIA. OF
1.	FOR PIPE UP TO 50	
2.	FOR PIPE 65 MM I	
3.	FOR PIPE 80 / 100	

- 4. 1 NO. BRANCH PIPE
- 5. 1 NO 9 LTRS. WATER EXTINGUISHERS.
- 6. 1 NO 4.BKG CO2 T EXTINGUISHERS.

For Global India Infra Promoters Pvt. Ltd.

Diveyanshu
Director

PROJECT: CROSSINGS R GHAZIABAD, U.P.

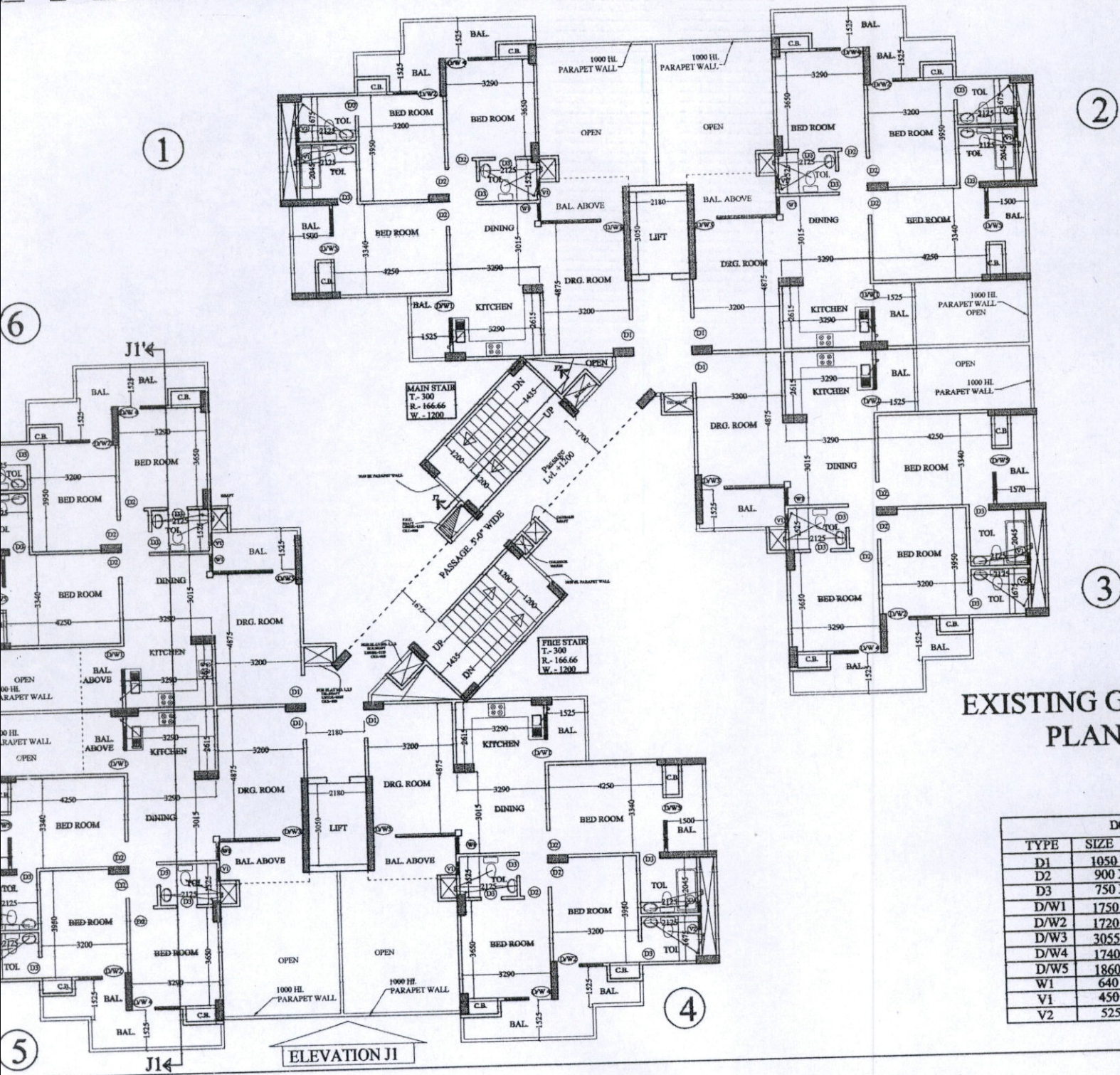
OWNER: MR. MAHESH KUMAR

CROSSINGS INFRA GLASS GATE WALL THROUGH:-

MR. MAHESH KUMAR

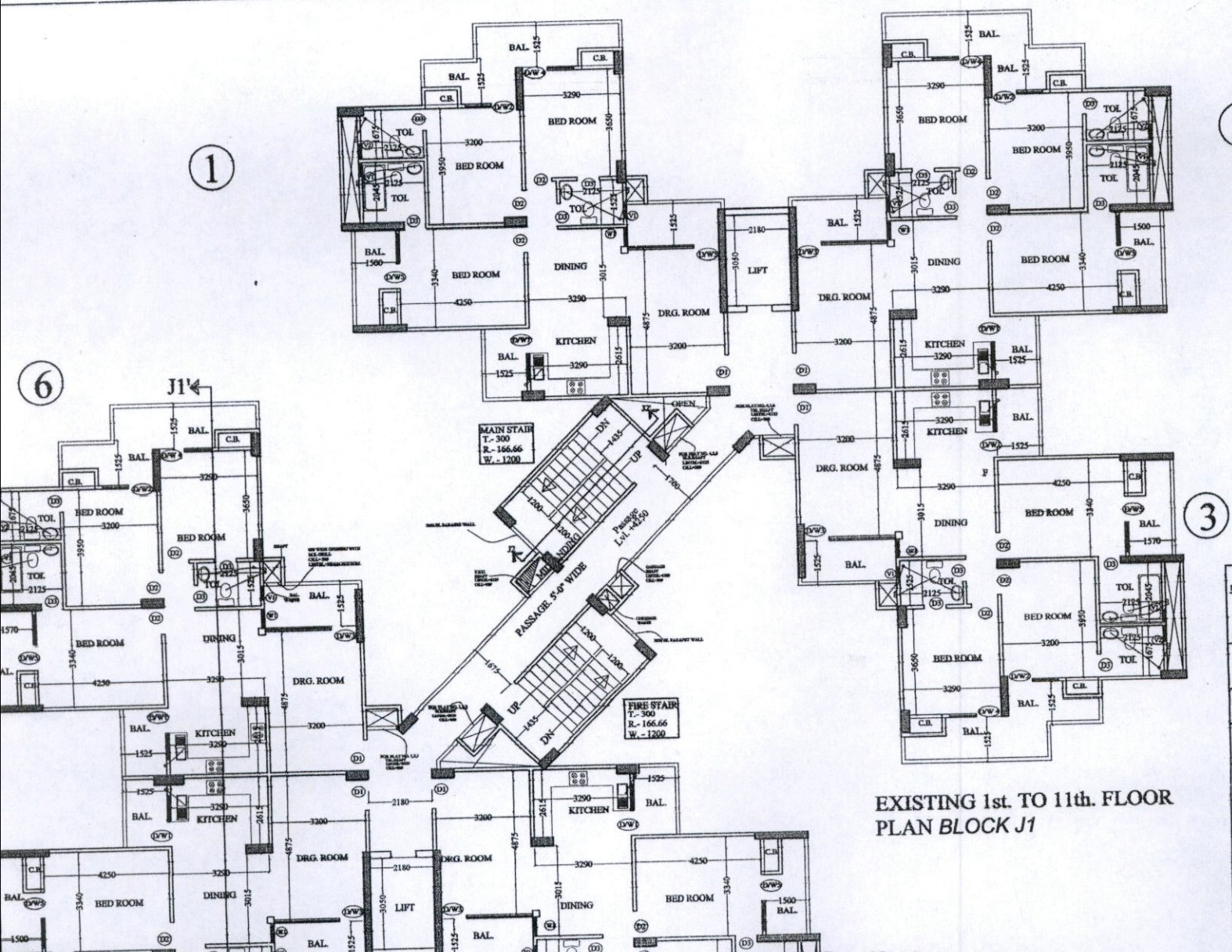
DRAWING TITLE: TYPICAL I

OWNERS SIGNATURE: *VKS*



EXISTING GROUND FLOOR
PLAN BLOCK J1

DOOR WINDOW SCHEDULE			
TYPE	SIZE	CILL	LINTEL
D1	1050 X 2100	—	2125
D2	900 X 2100	—	2125
D3	750 X 2100	—	2125
D/W1	1750 X 2500	1150	2500
D/W2	1720 X 2500	450	2500
D/W3	3055 X 2500	450	2500
D/W4	1740 X 2500	450	2500
D/W5	1860 X 2500	450	2500
W1	640 X 2500	450	2500
V1	450 X 1000	1500	2500
V2	525 X 1000	1500	2500



EXISTING 1st. TO 11th. FLOOR
PLAN BLOCK J1

PROJECT:
CROSSINGS REPUBLIK, VILLAGE DUNDH
GHAZIABAD, U.P.
OWNER:
CROSSINGS REPUBLIK PVT. LTD.
H-174, SEC-63, NOIDA

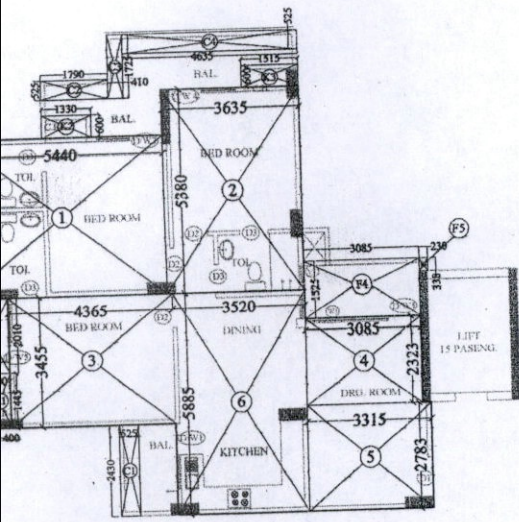
THROUGH:
MR. MANOJ GAUR, DIRECTOR



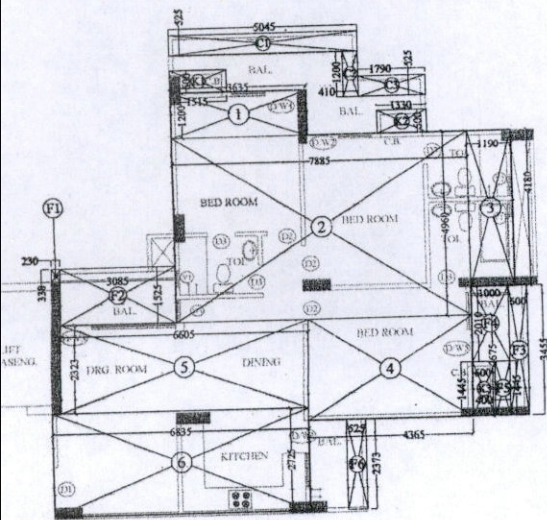
DRAWING/TITLE : BLOCK - J1

EXISTING GROUND FL
1st. TO 11th. FLOOR PL

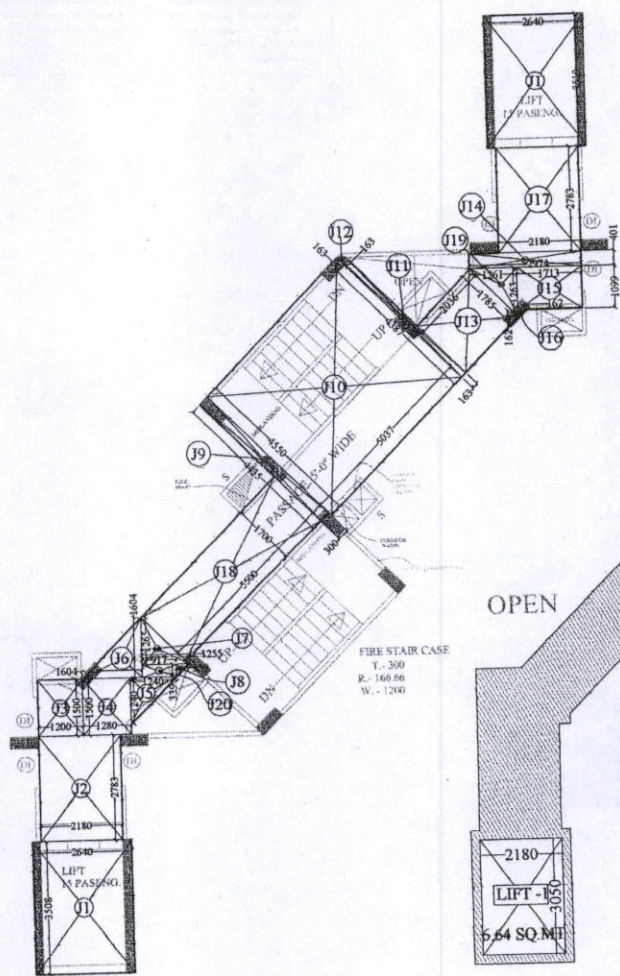
DOOR WINDOW SCHEDULE			
TYPE	SIZE	CILL	LINTEL
D1	1050 X 2100	---	2125
D2	900 X 2100	---	2125
D3	750 X 2100	---	2125
D/W1	1750 X 2500	1150	2500
D/W2	1720 X 2500	450	2500
D/W3	3055 X 2500	450	2500
D/W4	1740 X 2500	450	2500
D/W5	1860 X 2500	450	2500
W1	640 X 2500	450	2500
V1	450 X 1000	1500	2500
V2	525 X 1000	1500	2500



FLAT NO. 1 AND 4
AREA DETAIL OF
EXISTING GROUND TO 11th. FLOOR



FLAT NO. 2 AND 5
AREA DETAIL OF
EXISTING GROUND TO 11th. FLOOR

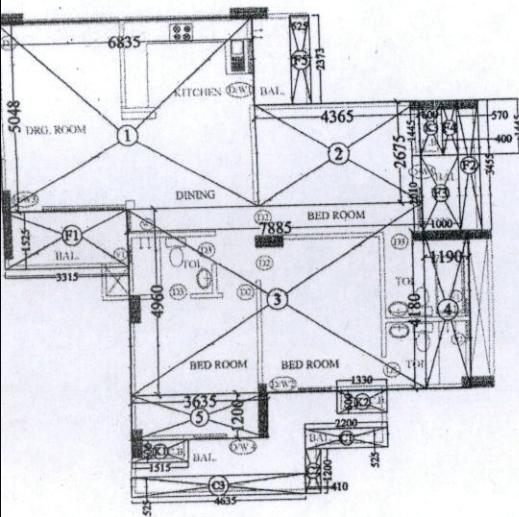


F.A.R AREA DEATIL OF
EXISTING GROUND FLOOR CIRCULATION AREA

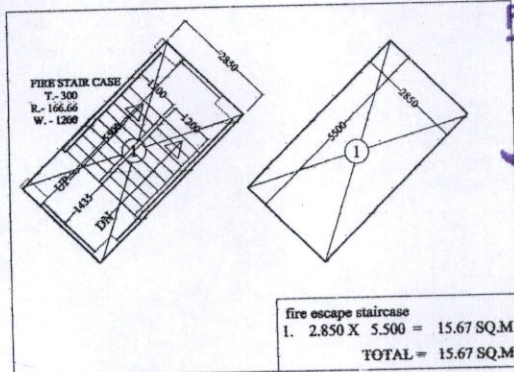
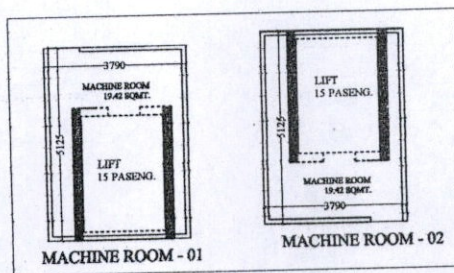
F.A.R AREA DEATIL OF
1st. TO 14th FLOOR CIRCULATION AREA

CIRCULATION AREA OF GR. FLOOR = 79.44 Sq.
LIFT AREA = LIFT 1 + LIFT 2 = 6.64 + 6.64 = 13.28 Sq.

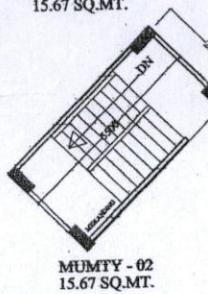
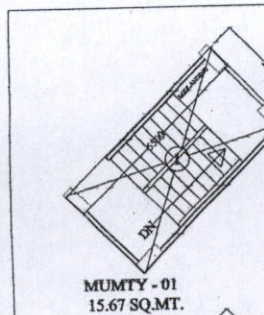
CIRCULATION AREA OF TYPICAL FLOOR = 66.16 Sq.



FLAT NO. 3 AND 6
AREA DETAIL OF
EXISTING GROUND TO 11th. FLOOR



For KSN Builders & Developers
[Signature]
Partner



F.A.R. AREA DETAIL OF GROUND FLOOR			
Flat Area			
FLAT NO 1,4	106.14	2No.	212.28 Sq. M
FLAT NO 2,5	107.00	2 No.	214.00 Sq. M
FLAT NO 3,6	108.04	2 No.	216.08 Sq. M
TOTAL AREA (Flat)	6 No.		642.36 Sq. M
Common Area			
CIRCULATION AREA OF GR. FLOOR	79.44 Sq.M	1 No.	79.44 Sq.M
TOTAL GROUND FLOOR AREA			721.80 Sq.M

AREA STATEMENT FLAT NO.-1,4 FROM GROUND TO 11th. FLOOR		
S.NO	DIMENSION	AREA
1.	5.440 X 4.180	= 22.739 SQ.M
2.	3.635 X 5.380	= 19.556 SQ.M
3.	4.365 X 3.455	= 15.081 SQ.M
4.	3.085 X 2.323	= 7.166 SQ.M
5.	3.315 X 2.783	= 9.226 SQ.M
6.	3.520 X 5.885	= 20.715 SQ.M
TOTAL ADDITIONS = 94.483 SQ.M		
(B) BALCONY IN F.A.R AREA		
F1.	0.500 X 3.455	= 1.727 SQ.M
F2.	1.000 X 2.010	= 2.010 SQ.M
F3.	0.400 X 1.445	= 0.578 SQ.M
F4.	3.085 X 1.525	= 4.704 SQ.M
F5.	0.230 X 0.338	= 0.078 SQ.M
TOTAL ADDITIONS = 9.097 SQ.M		
(C) CUPBOARD AREA		

AREA STATEMENT FLAT NO.-2,5 FROM GROUND TO 11th. FLOOR		
S.NO	DIMENSION	AREA
(A) 1.	3.635 X 1.200	= 4.362 SQ.M
2.	7.885 X 4.960	= 39.110 SQ.M
3.	1.190 X 4.180	= 4.974 SQ.M
4.	4.365 X 2.675	= 11.676 SQ.M
5.	6.605 X 2.323	= 15.343 SQ.M
6.	6.835 X 2.725	= 18.625 SQ.M
TOTAL ADDITIONS = 94.090 SQ.M		
(B) BALCONY IN F.A.R AREA		
F1.	0.230 X 0.338	= 0.078 SQ.M
F2.	3.085 X 1.525	= 4.704 SQ.M
F3.	0.500 X 3.455	= 1.728 SQ.M
F4.	1.000 X 2.010	= 2.010 SQ.M
F5.	0.400 X 1.445	= 0.578 SQ.M
F6.	0.525 X 2.373	= 1.246 SQ.M
TOTAL ADDITIONS = 10.344 SQ.M		
(C) CUPBOARD AREA STATEMENT		

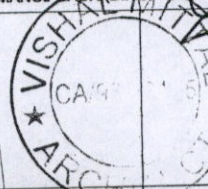
AREA STATEMENT FLAT NO.-3,6 FROM GROUND TO 11th. FLOOR			
S.NO	DIMENSION	AREA	
(A) 1.	6.835 X 5.048	= 34.503 SQ.M	
2.	4.365 X 2.675	= 11.676 SQ.M	
3.	7.885 X 4.960	= 39.110 SQ.M	
4.	1.190 X 4.180	= 4.974 SQ.M	
5.	3.635 X 1.200	= 4.362 SQ.M	
TOTAL ADDITIONS = 94.625 SQ.M			
(B) BALCONY IN F.A.R AREA			
F1.	3.315 X 1.525	= 5.055 SQ.M	
F2.	0.570 X 3.455	= 1.969 SQ.M	
F3.	3.000 X 2.010	= 2.010 SQ.M	
F4.	0.400 X 1.445	= 0.578 SQ.M	
F5.	0.525 X 2.373	= 1.246 SQ.M	
TOTAL ADDITIONS = 10.858 SQ.M			
(C) CUPBOARD AREA STATEMENT			
K1.	1.515 X 0.600	= 0.909 SQ.M	
K2.	1.330 X 0.600	= 0.798 SQ.M	

F.A.R AREA DEATIL OF GROUND FLOOR LIFT LOBBY, PASSAGE, STAIR CASE			
S.NO	DIMENSION	AREA	
J1.	2.640 X 3.510 X 2	= 18.533 SQ.M	
J2.	2.160 X 2.783	= 6.067 SQ.M	
J3.	1.200 X 1.500	= 1.800 SQ.M	
J4.	1.280 X 1.500	= 1.920 SQ.M	
J5.	0.5 X 1.240 X 1.240	= 0.789 SQ.M	
J6.	0.5 X 1.604 X 1.604	= 1.286 SQ.M	
J7.	0.5 X 1.255 X 1.265	= 0.794 SQ.M	

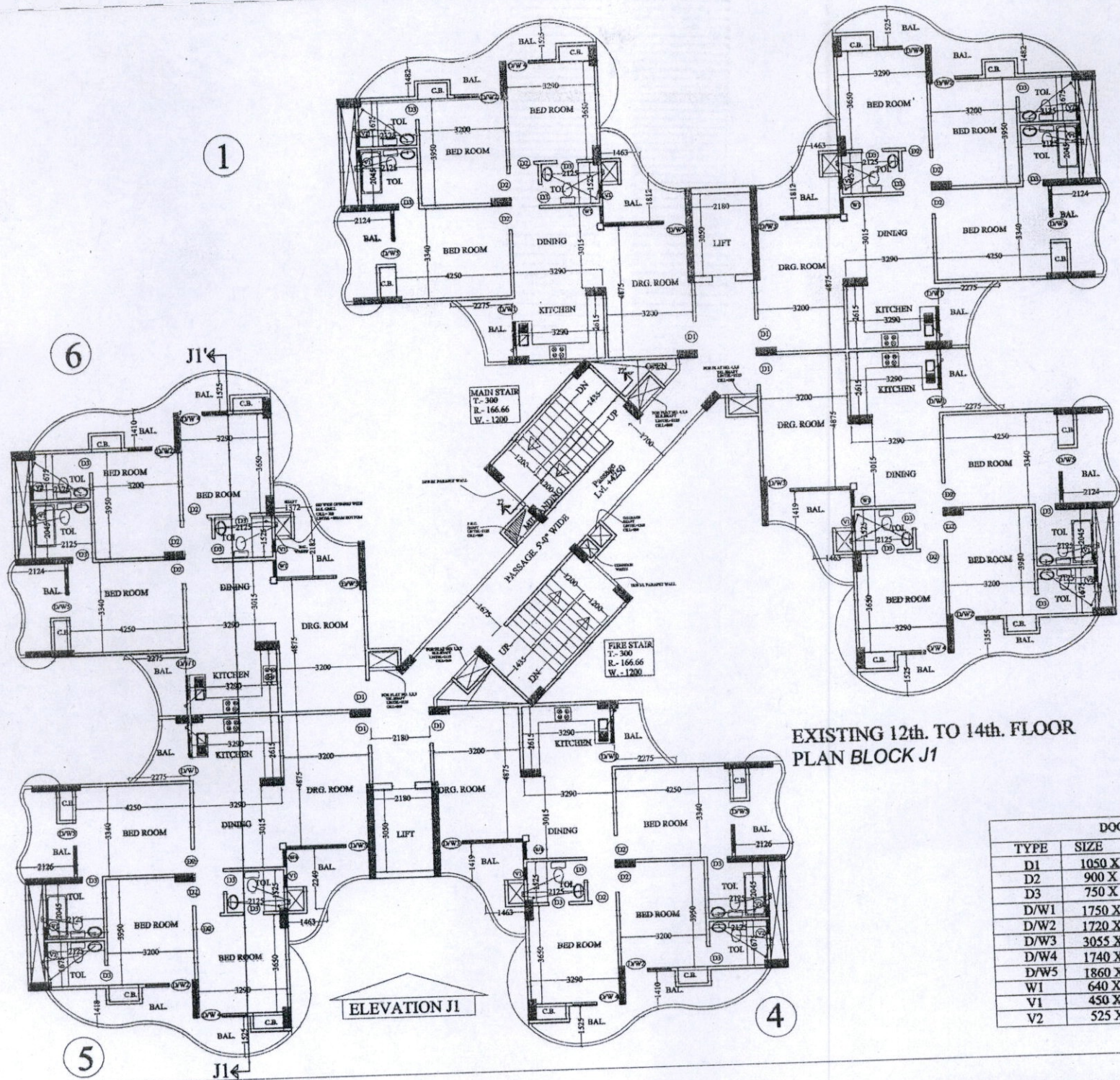
PROJECT-COMPOUNDING DRGAWING FOR THE GROUP HOUSING AT PLOT NO.-06, CROSSINGS REPUBLIK, VILLAGE DUNGHIAZIABAD, U.P.

OWNER: CROSSINGS REPUBLIK PVT. LTD. H-174, SEC-63, NOIDA

THROUGH: MR. MANOJ GAUR (DIRECTOR)

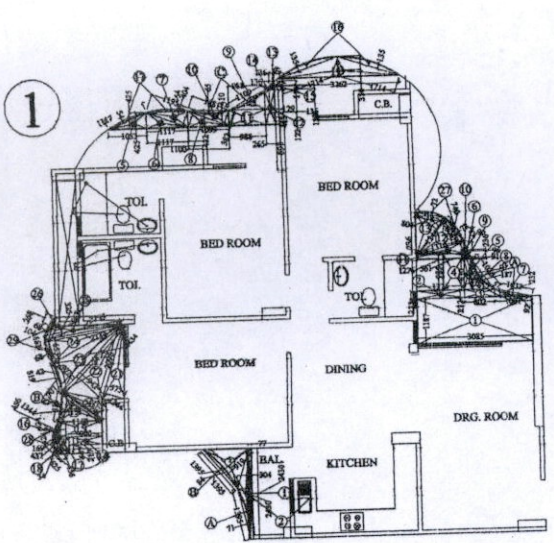


DRAWING TITLE: BLOCK - J1 AREA DETAIL



EXISTING 12th. TO 14th. FLOOR
PLAN BLOCK J1

DOOR WINDOW SCHEDULE			
TYPE	SIZE	CILL	LINT
D1	1050 X 2100	---	212
D2	900 X 2100	---	212
D3	750 X 2100	---	212
D/W1	1750 X 2500	1150	25
D/W2	1720 X 2500	450	25
D/W3	3055 X 2500	450	25
D/W4	1740 X 2500	450	25
D/W5	1860 X 2500	450	25
W1	640 X 2500	450	25
V1	450 X 1000	1500	25
V2	525 X 1000	1500	25



FLAT NO. 1 AND 4
BALCONY IN F.A.R. AREA DETAIL
& BALCONY IN COMPOUNDING
AREA DETAIL
EXISTING 12th. TO 14th. FLOOR

FLAT NO. 1&4 ARE SAME
BALCONY IN F.A.R. AREA DETAIL
OF 12th. TO 14th. FLOOR

1.	3.085 X	1.187	=		3.662 SQ.M
2.	1.276 X	0.223	=		0.285 SQ.M
3.	0.802 X	0.232	=		0.186 SQ.M
4.	0.561 X	0.985	=		0.553 SQ.M
5.	0.187 X	0.830	=		0.155 SQ.M
6.	0.096 X	0.236	=		0.023 SQ.M
7.	0.5 X	1.007 X	0.232	=	0.117 SQ.M
8.	0.5 X	0.615 X	0.830	=	0.255 SQ.M
9.	0.5 X	0.091 X	0.236	=	0.011 SQ.M
10.	0.5 X	0.096 X	0.234	=	0.011 SQ.M
11.	0.5 X	1.276 X	0.325	=	0.207 SQ.M
12.	0.5 X	1.316 X	0.740	=	0.487 SQ.M
13.	0.5 X	1.244 X	0.714	=	0.444 SQ.M
14.	0.900 X	0.217	=		0.195 SQ.M
15.	1.168 X	0.424	=		0.495 SQ.M
16.	0.5 X	0.169 X	0.424	=	0.036 SQ.M
17.	0.5 X	0.447 X	0.437	=	0.098 SQ.M
18.	0.5 X	0.625 X	0.246	=	0.077 SQ.M
19.	0.5 X	1.344 X	0.707	=	0.475 SQ.M
20.	0.5 X	1.344 X	0.457	=	0.307 SQ.M
21.	0.5 X	2.098 X	0.575	=	0.603 SQ.M
22.	0.5 X	2.434 X	0.942	=	1.146 SQ.M
23.	0.5 X	2.434 X	0.707	=	0.860 SQ.M
24.	0.5 X	2.155 X	0.653	=	0.704 SQ.M
25.	0.5 X	2.155 X	0.325	=	0.350 SQ.M
26.	0.5 X	0.258 X	0.104	=	0.013 SQ.M
27.	2 / 3 X	0.804 X	0.072	X 2 =	0.077 SQ.M
28.	2 / 3 X	0.456 X	0.034	X 2 =	0.021 SQ.M
29.	2 / 3 X	0.663 X	0.068	X 2 =	0.060 SQ.M
TOTAL					11.913 SQ.M
STANDARD DEDUCTIONS :-					
A.	2 / 3 X	1.033 X	0.092	X 2 =	0.127 SQ.M
B.	2 / 3 X	0.819 X	0.042	X 2 =	0.046 SQ.M
TOTAL DEDUCTIONS =					0.173 SQ.M
NET AREA = 11.913 - 0.173 =					11.740 SQ.M

FLAT NO. 1&4 ARE SAME
TOTAL F.A.R. AREA OF 12th. TO 14th. FLOOR
= FLAT AREA + BALCONY IN F.A.R. AREA + CUPBOARD AREA
= 94.483 + 11.740 + 2.574 = 108.797

FLAT NO. 1&4 ARE SAME
BALCONY IN COMPOUNDING AREA DETAIL
OF 12th. TO 14th. FLOOR

1.	0.076 X	2.430	=		0.185
2.	0.5 X	2.430 X	0.304	=	0.304
3.	0.5 X	1.395 X	0.919	=	0.619
4.	0.5 X	3.262 X	0.525	=	0.844
5.	0.5 X	0.425 X	1.033	=	0.208
6.	0.5 X	0.425 X	1.117	=	0.208
7.	0.5 X	1.195 X	0.404	=	0.208
8.	0.5 X	0.432 X	1.099	=	0.208
9.	0.5 X	0.988 X	0.483	=	0.208
10.	0.5 X	1.181 X	0.382	=	0.208
11.	0.988 X	0.410	=		0.408
12.	0.265 X	0.893	=		0.208
13.	0.136 X	0.122	=		0.008
14.	0.5 X	0.129 X	0.122	=	0.008
15.	0.5 X	0.136 X	0.114	=	0.008
16.	2 / 3 X	1.714 X	0.135	X 2 =	0.308
17.	2 / 3 X	1.117 X	0.054	X 2 =	0.008
TOTAL ADDITIONS =					4.515
TOTAL ADDITIONS =					4.515
STANDARD DEDUCTIONS :-					
A.	2 / 3 X	1.283 X	0.071	=	0.071
B.	2 / 3 X	1.395 X	0.084	=	0.084
C.	2 / 3 X	1.100 X	0.065	X 2 =	0.065
TOTAL DEDUCTIONS =					0.234
NET AREA = 4.515 - 0.234 =					4.281

For KSN Builders & Developers

Signature
Partner

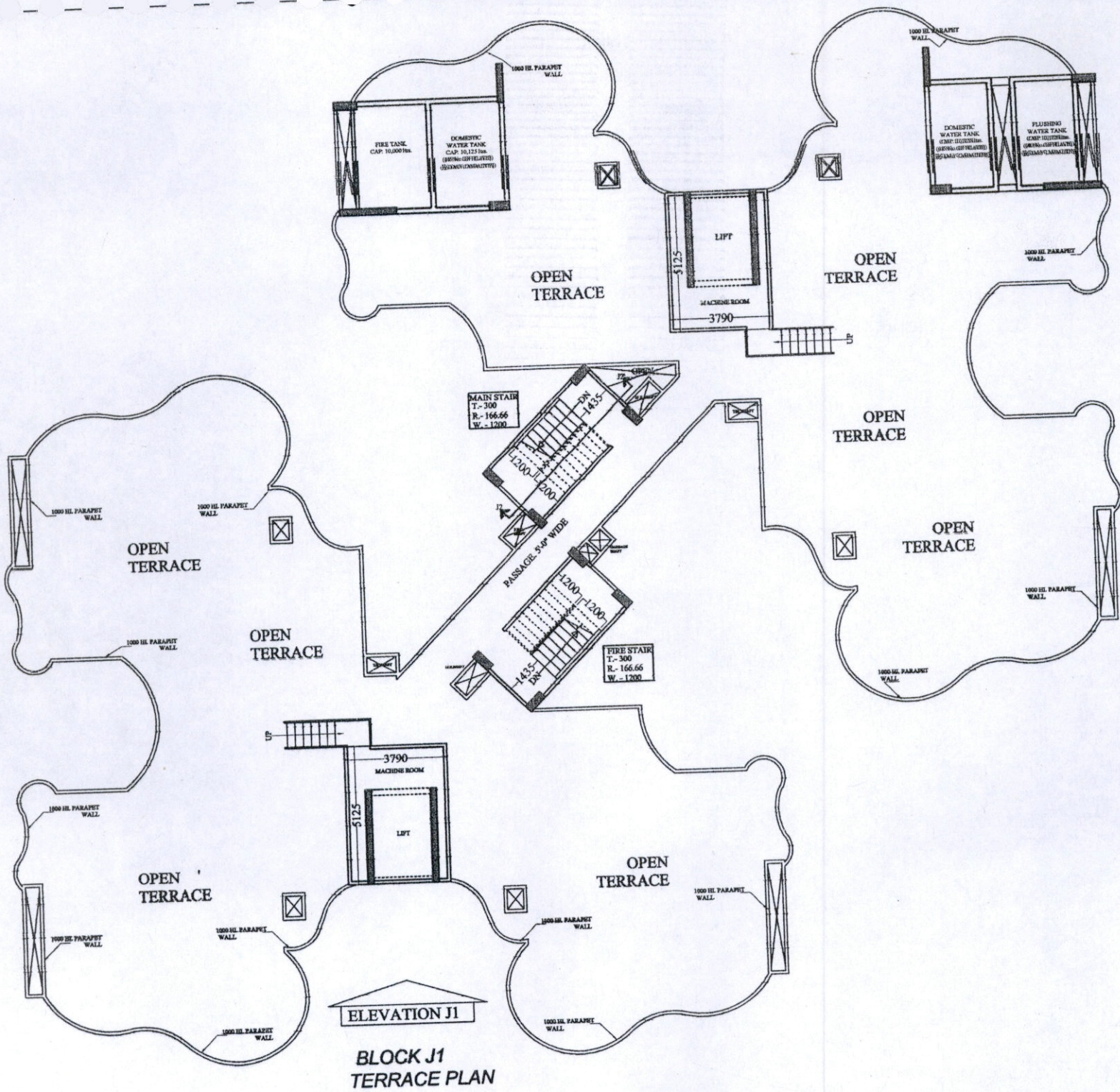
PROJECT:
CROSSINGS REPUBLIK, VILLAGE D
GHAZIABAD, U.P.

OWNER:
CROSSINGS REPUBLIK PVT. LT
H-174, SEC-63, NOIDA

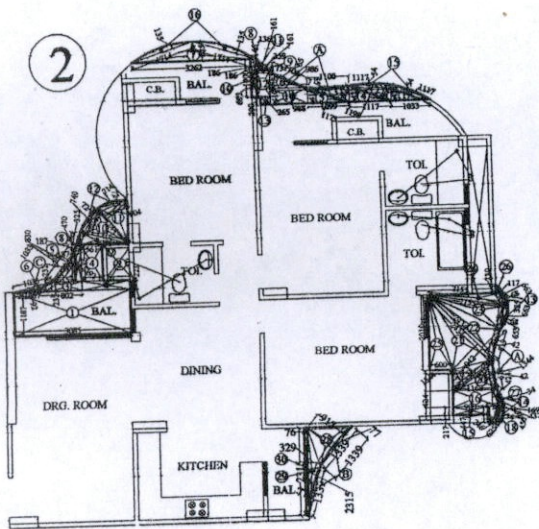
THROUGH:
MR. MANOJ GAUR, DIRECTOR

VISHAL M
CA/98/2318
ARCHITECT

OWNER'S SIGN
DRAWING TITLE: BLOCK J1
EXISTING 12th.
AREA DETAIL



ELEVATION J1
BLOCK J1
TERRACE PLAN



FLAT NO. 2 & 5
BALCONY IN F.A.R. AREA
& BALCONY IN COMPOUNDING
AREA DETAIL
EXISTING 12th. TO 14th. FLOOR

FLAT NO. 2&5 ARE SAME
BALCONY IN COMPOUNDING AREA DETAIL
OF 12th. TO 14th. FLOOR

1.	0.5 X	1.033 X	0.425	=	0.220	SQ.M
2.	0.5 X	1.198 X	0.396	=	0.237	SQ.M
3.	0.5 X	1.173 X	0.405	=	0.238	SQ.M
4.	0.5 X	0.432 X	1.117	=	0.241	SQ.M
5.	0.5 X	0.410 X	1.099	=	0.225	SQ.M
6.	0.5 X	0.988 X	0.483	=	0.239	SQ.M
7.	0.5 X	3.262 X	0.525	=	0.856	SQ.M
8.	0.5 X	0.186 X	0.146	=	0.014	SQ.M
9.	0.5 X	0.173 X	0.161	=	0.014	SQ.M
10.	0.136 X	1.000	=	=	0.136	SQ.M
11.	0.186 X	0.161	=	=	0.030	SQ.M
12.	0.359 X	0.693	=	=	0.249	SQ.M
13.	0.265 X	0.200	=	=	0.053	SQ.M
14.	0.988 X	0.410	=	=	0.405	SQ.M
15.	2 / 3 X	1.117 X	0.054	X 2 =	0.080	SQ.M
16.	2 / 3 X	1.714 X	0.135	X 2 =	0.309	SQ.M

FLAT NO. 2&5 ARE SAME
BALCONY IN F.A.R. AREA
DETAIL
OF 12th. TO 14th. FLOOR

1.	3.085 X	1.187	=	=	3.662	SQ.M
2.	1.276 X	0.223	=	=	0.285	SQ.M
3.	0.802 X	0.232	=	=	0.186	SQ.M
4.	0.561 X	0.985	=	=	0.553	SQ.M
5.	0.187 X	0.830	=	=	0.155	SQ.M
6.	0.5 X	1.007 X	0.232	=	0.117	SQ.M
7.	0.5 X	0.615 X	0.830	=	0.255	SQ.M
8.	0.5 X	0.187 X	0.470	=	0.044	SQ.M
9.	0.5 X	1.276 X	0.325	=	0.207	SQ.M
10.	0.5 X	1.316 X	0.740	=	0.487	SQ.M
11.	0.5 X	1.244 X	0.714	=	0.444	SQ.M
12.	2 / 3 X	0.804 X	0.072	X 2 =	0.077	SQ.M
13.	2 / 3 X	0.663 X	0.068	X 2 =	0.060	SQ.M
14.	2 / 3 X	0.456 X	0.034	X 2 =	0.021	SQ.M
15.	0.900 X	0.217	=	=	0.195	SQ.M
16.	1.168 X	0.424	=	=	0.495	SQ.M
17.	0.5 X	0.437 X	0.447	=	0.098	SQ.M
18.	0.5 X	0.625 X	0.246	=	0.077	SQ.M
19.	0.5 X	1.344 X	0.457	=	0.307	SQ.M
20.	0.5 X	1.344 X	0.707	=	0.475	SQ.M
21.	0.5 X	2.434 X	0.942	=	1.146	SQ.M
22.	0.5 X	2.434 X	0.707	=	0.860	SQ.M
23.	0.5 X	2.155 X	0.653	=	0.704	SQ.M
24.	0.5 X	2.155 X	0.325	=	0.350	SQ.M
25.	0.5 X	0.600 X	2.010	=	0.603	SQ.M
26.	0.5 X	0.117 X	0.230	=	0.013	SQ.M
27.	0.5 X	0.169 X	0.424	=	0.036	SQ.M
28.	0.5 X	1.339 X	0.912	=	0.611	SQ.M
29.	0.5 X	2.315 X	0.329	=	0.381	SQ.M
30.	0.076 X	2.315	=	=	0.176	SQ.M
TOTAL = 13.080 SQ.M						

STANDARD DEDUCTIONS :-						
A.	2 / 3 X	0.819 X	0.042	X 2 =	0.046	SQ.M
B.	2 / 3 X	1.339 X	0.077	X 2 =	0.137	SQ.M
C.	2 / 3 X	1.033 X	0.092	X 2 =	0.127	SQ.M
0.310 SQ.M						

TOTAL DEDUCTIONS = 0.310 SQ.M					
NET AREA = 13.080 - 0.310 = 12.770 SQ.M					

FLAT NO. 2&5 ARE SAME
TOTAL F.A.R. AREA DETAIL OF 12th. TO 14th. FLOOR
= FLAT AREA + BALCONY IN F.A.R. AREA + CUPBOARD AREA
= 94.090 + 12.770 + 2.574 = 109.434

For KSN Builders & Developers

PROJECT:
CROSSINGS REPUBLIK, VILLAGE
GHAZIABAD, U.P.

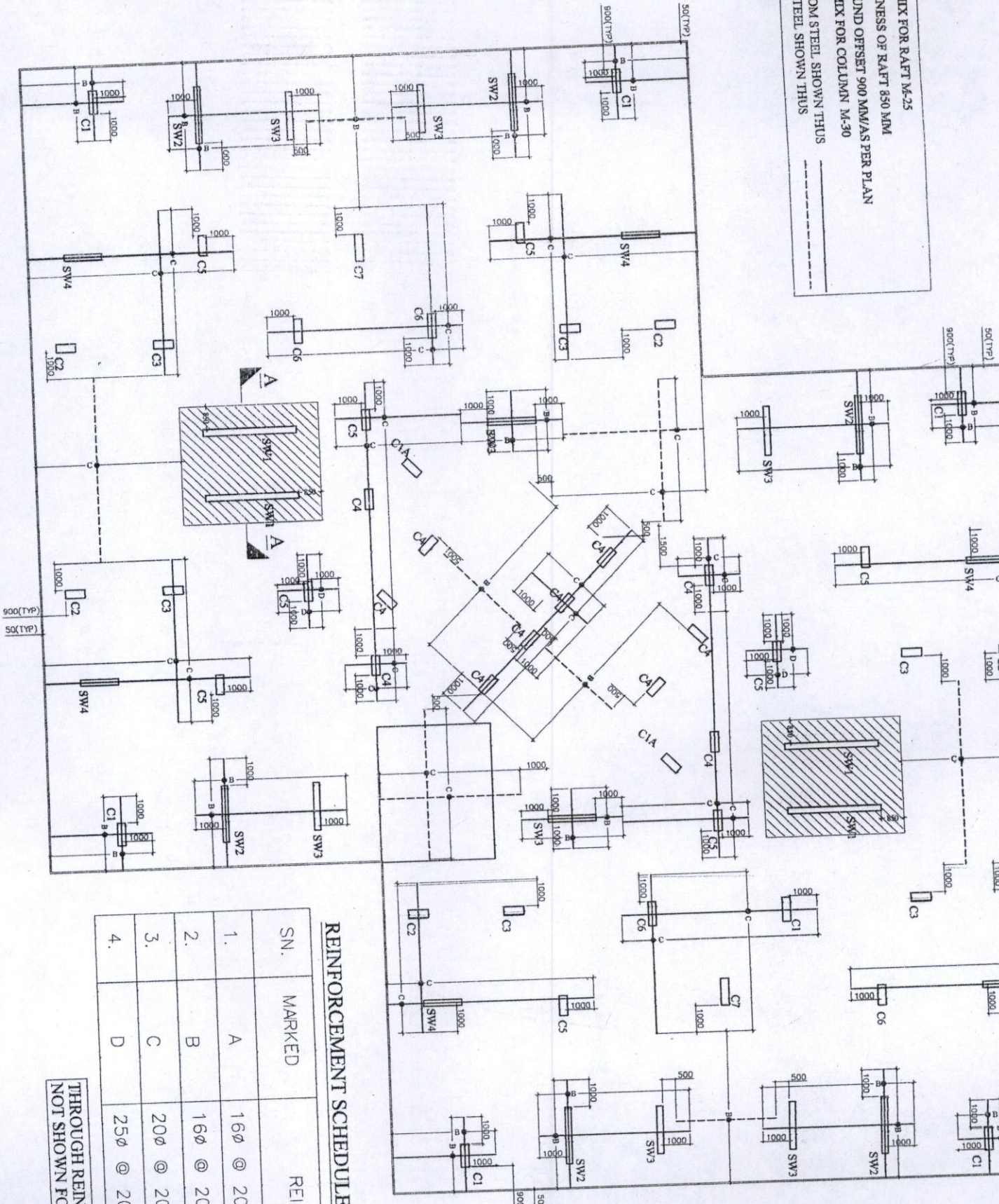
OWNER:
CROSSINGS REPUBLIK PVT.
H-174, SEC-63, NOIDA

THROUGH:-
MR. MANOJ GAUR (DIRECTOR)

VISHAL M
CA/98/231

DRAWING TITLE: BLOCK J1
TERRACE PL
AREA DETAIL

CON MIX FOR RAFT M-25
 THICKNESS OF RAFT 850 MM
 AROUND OFFSET 900 MM/AS PER PLAN
 CON MIX FOR COLUMN M-30
 BOTTOM STEEL SHOWN THUS
 TOP STEEL SHOWN THUS



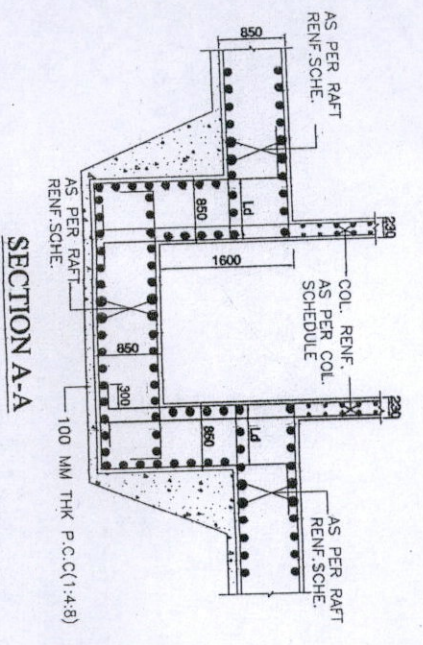
RAFT REINFORCEMENT PLAN

REINFORCEMENT SCHEDULE

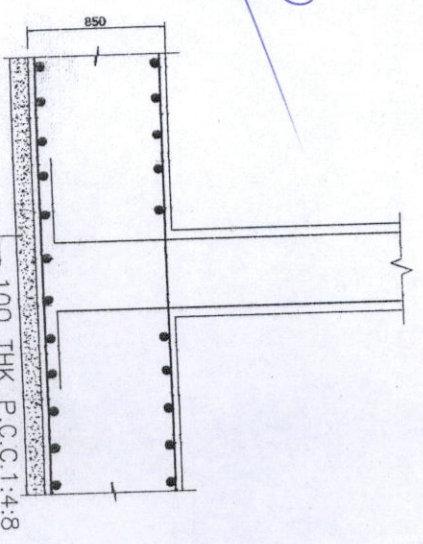
SN.	MARKED	REINFORCEMENT
1.	A	16 ϕ @ 200 C/C (TH. BOTTOM&TOP BOTH WAYS)
2.	B	16 ϕ @ 200 C/C (EX. BOTTOM&TOP)
3.	C	20 ϕ @ 200 C/C (EX BOTTOM&TOP)
4.	D	25 ϕ @ 200 C/C (EX. BOTTOM)

THROUGH REINFORCEMENT NOT SHOWN FOR CLARITY

(TYPICAL SECTION THRU. LIFT PIT)



For KSN Builders & Developers
 Partner



TYPICAL SEC. THRU. RAFT

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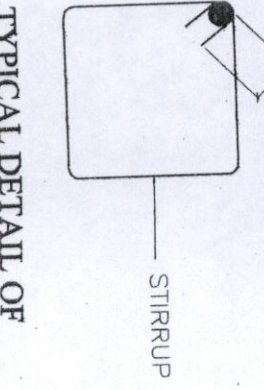
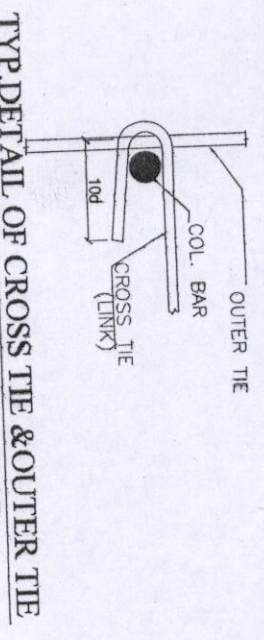
TIES	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30	C.MIX M-30
MAIN BARS	6-25φ(b)+8-20φ	10-25φ(b)+6-20φ	14-25φ	16-25φ	20-25φ	22-25φ	4-32φ(b)+20-25φ	16-25φ(b)+20-25φ	6-25φ(b)+8-20φ	
SIZE	300X865	300X750	300X750	300X750	300X750	300X900	300X1000	230X1430	300X750	
TIES	8φ@150c/c (4 sets)	8φ@150c/c (5 sets)	8φ@150c/c (4 sets)	8φ@150c/c (5 sets)	8φ@150c/c (6 sets)	8φ@150c/c (6 sets)	8φ@150c/c (7 sets)	8φ@115c/c (9 sets)	8φ@150c/c (4 sets)	
SHAPE										
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	SW4	C1A	

UP TO FIRST FLOOR ROOF

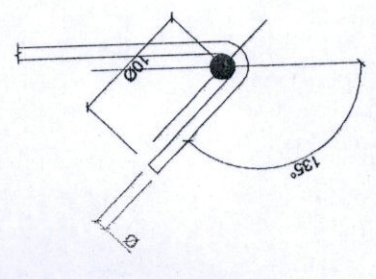
CONC. MIX. SHALL BE M-30 FOR COLUMNS

TIES	C.MIX M-30	C.MIX M-30	C.MIX M-30
MAIN BARS	16-25φ(b)+74-20φ	16-25φ(b)+34-20φ	16-25φ(b)+20-20φ
SIZE	230X3510	230X2125	230X1800
TIES	8φ@115c/c (24 sets)	8φ@115c/c (14 sets)	8φ@115c/c (10 sets)
SHAPE			
SHEAR WALL NO.	SW1	SW2	SW3

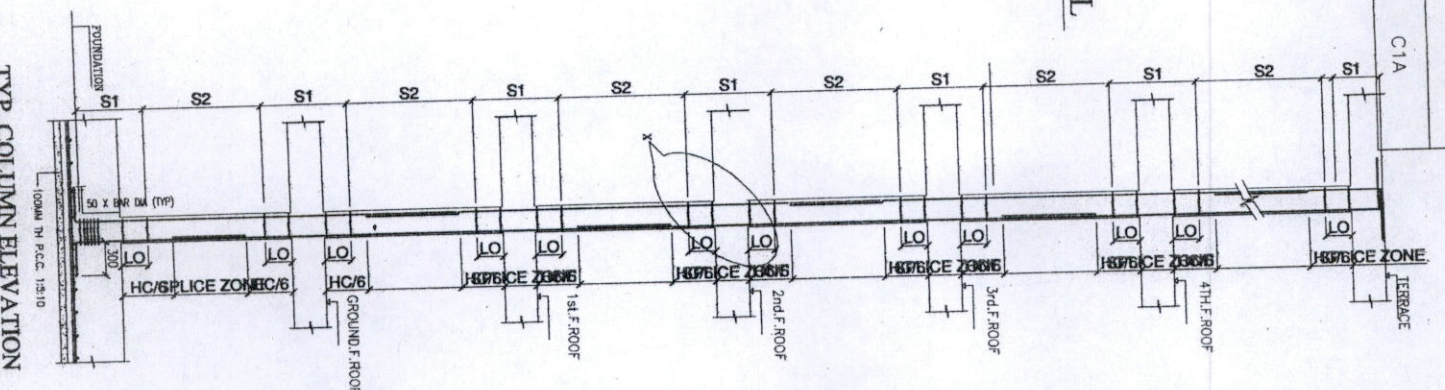
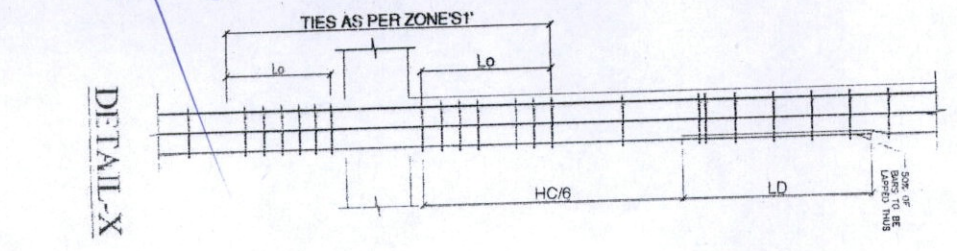
- NOTE ON CURTAILMENT DETAILS OF COLUMNS**
- Hc IS CLEAR COLUMN HEIGHT.
 - Lo IS GREATER OF
 - MAX LATERAL DIMENSION OF COLUMN
 - Hc/6
 - 450mm
 - S2 - TIES AS PER COLUMN SCHEDULE.
 - S1 - 8 φ @ 100 C/C
 - TIES SHALL BE SPACED AT 150mm/c OR SPACING OF S2, WHICHEVER IS LESS OVER THE LAP LENGTH OF LD IN SPLICE ZONE. DIAMETER AND NO OF SETS SHALL BE SAME AS S2.
 - DEVELOPMENT LENGTH 'Ld' SHALL BE 50 TIMES DIA OF BAR.
 - MAXIMUM OF 50% OF BARS SHALL BE SPLICED AT ONE SECTION.



MANDATORY 135° HOOK DETAIL IN COLUMN / BEAM STIRRUPS



For KSN Builders & Developers
Partner



NO.	DESCRIPTION
1	DATE
2	PROJECT
3	RESIDE
4	ARCHT
5	CONS
6	CHI
7	D
8	SC
9	PROJEC
10	TITLE
11	PROM
12	ARCHT
13	CONS
14	CHI
15	D
16	SC
17	PROJEC
18	RESIDE
19	ARCHT
20	CONS
21	CHI
22	D
23	SC
24	PROJEC
25	RESIDE
26	ARCHT
27	CONS
28	CHI
29	D
30	SC
31	PROJEC
32	RESIDE
33	ARCHT
34	CONS
35	CHI
36	D
37	SC
38	PROJEC
39	RESIDE
40	ARCHT
41	CONS
42	CHI
43	D
44	SC
45	PROJEC
46	RESIDE
47	ARCHT
48	CONS
49	CHI
50	D
51	SC
52	PROJEC
53	RESIDE
54	ARCHT
55	CONS
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57	D
58	SC
59	PROJEC
60	RESIDE
61	ARCHT
62	CONS
63	CHI
64	D
65	SC
66	PROJEC
67	RESIDE
68	ARCHT
69	CONS
70	CHI
71	D
72	SC
73	PROJEC
74	RESIDE
75	ARCHT
76	CONS
77	CHI
78	D
79	SC
80	PROJEC

CONC. MIX. SHALL BE M-30 FOR COLUMNS	C1	C2	C3	C4	C5	C6	C7	C1A
TISS								
MAIN BARS	14-20#	4-25#(b)+12-20#	6-25#(b)+8-20#	6-25#(b)+10-20#	10-25#(b)+10-20#	6-25#(b)+16-20#	6-25#(b)+18-20#	14-20#
SIZE	300X365	300X750	300X750	300X750	300X750	300X900	300X1000	300X750
TISS	8#@150c/c (4 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (6 sets)	8#@150c/c (6 sets)	8#@150c/c (7 sets)	8#@150c/c (4 sets)
SHAPE								
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	C1A

CONC. MIX. SHALL BE M-30 FOR COLUMNS	C1	C2	C3	C4	C5	C6	C7	C1A
TISS								
MAIN BARS	6-20#(b)+8-16#	18-20#	14-20#	4-25#(b)+12-20#	6-25#(b)+14-20#	22-20#	24-20#	6-20#(b)+8-16#
SIZE	300X365	300X750	300X750	300X750	300X900	300X900	300X1000	300X750
TISS	8#@150c/c (4 sets)	8#@150c/c (3 sets)	8#@150c/c (5 sets)	8#@150c/c (3 sets)	8#@150c/c (3 sets)	8#@150c/c (6 sets)	8#@150c/c (7 sets)	8#@150c/c (4 sets)
SHAPE								
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	C1A

CONC. MIX. SHALL BE M-30 FOR COLUMNS	C1	C2	C3	C4	C5	C6	C7	C1A
TISS								
MAIN BARS	14-16#	6-20#(b)+10-16#	6-20#(b)+8-16#	6-20#(b)+10-16#	14-20#(b)+6-16#	10-20#(b)+12-16#	10-20#(b)+11-16#	14-16#
SIZE	300X365	300X750	300X750	300X750	300X750	300X900	300X1000	300X750
TISS	8#@150c/c (4 sets)	8#@150c/c (3 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (6 sets)	8#@150c/c (6 sets)	8#@150c/c (7 sets)	8#@150c/c (4 sets)
SHAPE								
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	C1A

CONC. MIX. SHALL BE M-30 FOR COLUMNS	C1	C2	C3	C4	C5	C6	C7	C1A
TISS								
MAIN BARS	10-16#(b)+4-12#	18-16#	14-16#	16-16#	5-20#(b)+4-16#	22-16#	10-16#(b)+14-12#	10-16#(b)+4-12#
SIZE	300X365	300X750	300X750	300X750	300X750	300X900	300X1000	300X750
TISS	8#@150c/c (4 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (6 sets)	8#@150c/c (6 sets)	8#@150c/c (7 sets)	8#@150c/c (4 sets)
SHAPE								
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	C1A

CONC. MIX. SHALL BE M-30 FOR COLUMNS	C1	C2	C3	C4	C5	C6	C7	C1A
TISS								
MAIN BARS	9-16#(b)+8-12#	10-16#(b)+8-12#	6-16#(b)+8-12#	6-16#(b)+10-12#	20-16#	6-16#(b)+16-12#	4-16#(b)+20-12#	14-16#
SIZE	300X365	300X750	300X750	300X750	300X750	300X900	300X1000	300X750
TISS	8#@150c/c (4 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (5 sets)	8#@150c/c (6 sets)	8#@150c/c (6 sets)	8#@150c/c (7 sets)	8#@150c/c (4 sets)
SHAPE								
COLUMN NO.	C1	C2	C3	C4	C5	C6	C7	C1A

CONC. MIX. SHALL BE M-30 FOR COLUMNS	SW1	SW2	SW3	SW4
TISS				
MAIN BARS	8-25#(b)+32-16#	8-25#(b)+38-16#	4-25#(b)+32-16#	8-25#(b)+22-16#
SIZE	230X3510	230X2125	230X1800	230X1150
TISS	8#@115c/c (24 sets)	8#@115c/c (13 sets)	8#@115c/c (10 sets)	8#@115c/c (9 sets)
SHAPE				
SHEAR WALL NO.	SW1	SW2	SW3	SW4

CONC. MIX. SHALL BE M-30 FOR COLUMNS	SW1	SW2	SW3	SW4
TISS				
MAIN BARS	72-16#(b)+18-12#	46-16#	36-16#	6-20#(b)+22-16#
SIZE	230X3510	230X2125	230X1800	230X1150
TISS	8#@115c/c (24 sets)	8#@115c/c (13 sets)	8#@115c/c (10 sets)	8#@115c/c (9 sets)
SHAPE				
SHEAR WALL NO.	SW1	SW2	SW3	SW4

CONC. MIX. SHALL BE M-30 FOR COLUMNS	SW1	SW2	SW3	SW4
TISS				
MAIN BARS	32-16#(b)+8-12#	24-16#(b)+22-12#(b)	20-16#(b)+16-12#	20-16#(b)+10-12#
SIZE	230X3510	230X2125	230X1800	230X1150
TISS	8#@115c/c (24 sets)	8#@115c/c (13 sets)	8#@115c/c (10 sets)	8#@115c/c (9 sets)
SHAPE				
SHEAR WALL NO.	SW1	SW2	SW3	SW4

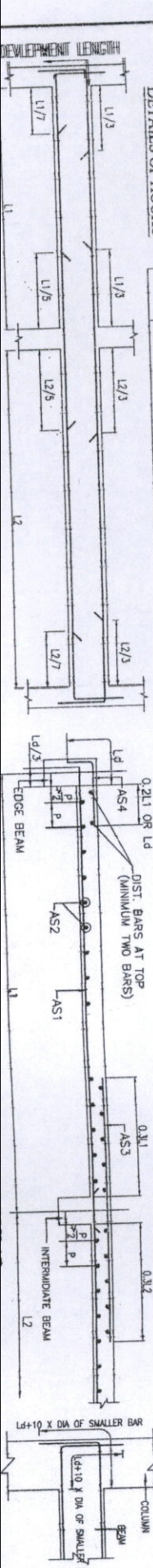
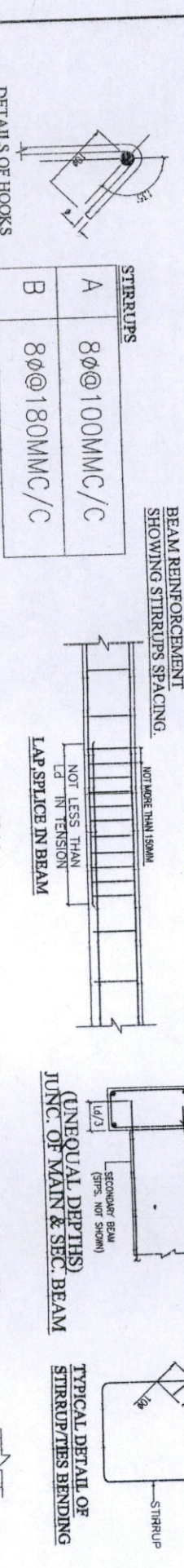
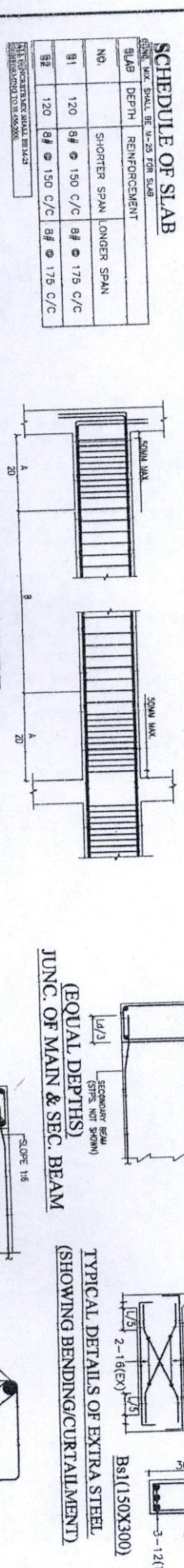
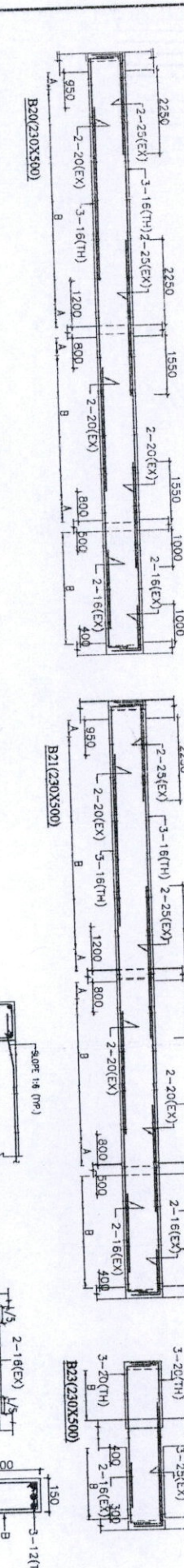
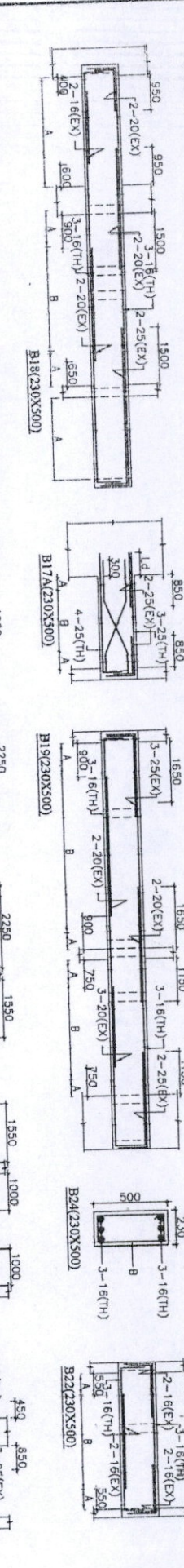
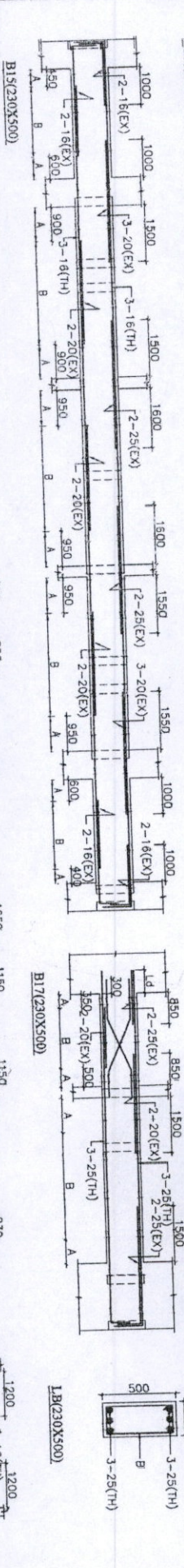
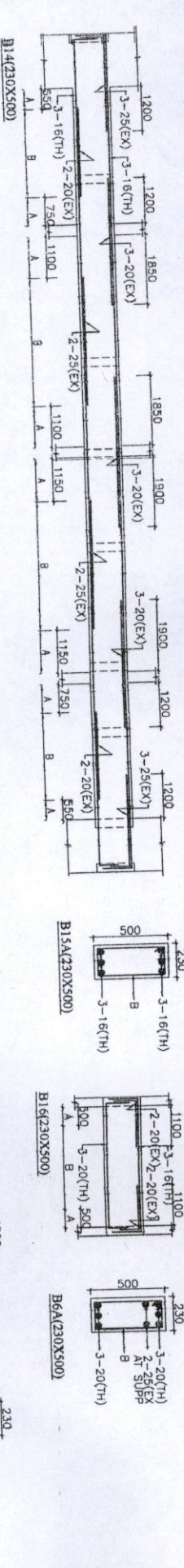
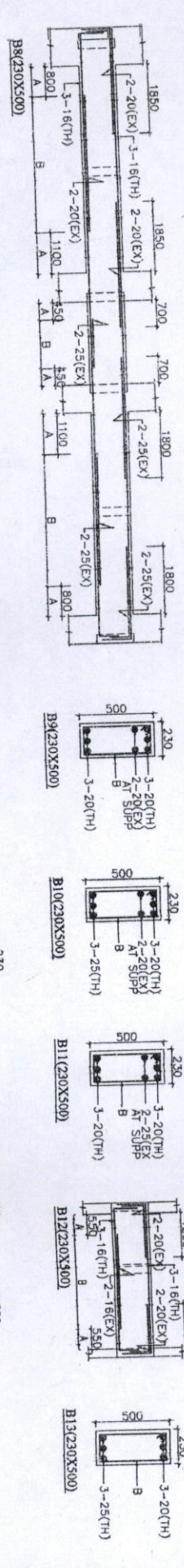
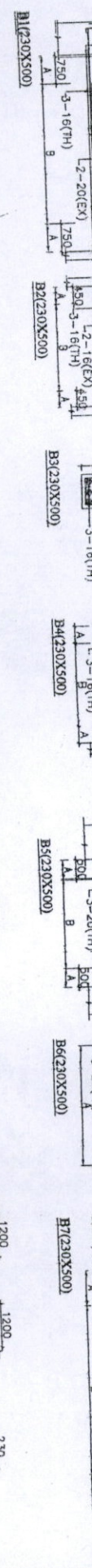
CONC. MIX. SHALL BE M-30 FOR COLUMNS	SW1	SW2	SW3	SW4
TISS				
MAIN BARS	16-16#(b)+74-12#	16-16#(b)+30-12#(b)	12-16#(b)+24-12#	16-16#(b)+14-12#
SIZE	230X3510	230X2125	230X1800	230X1150
TISS	8#@115c/c (24 sets)	8#@115c/c (13 sets)	8#@115c/c (10 sets)	8#@115c/c (9 sets)
SHAPE				
SHEAR WALL NO.	SW1	SW2	SW3	SW4

CONC. MIX. SHALL BE M-30 FOR COLUMNS	SW1	SW2	SW3	SW4
TISS				
MAIN BARS	16-16#(b)+74-12#	8-16#(b)+38-12#	8-16#(b)+28-12#	12-16#(b)+18-12#
SIZE	230X3510	230X2125	230X1800	230X1150
TISS	8#@115c/c (24 sets)	8#@115c/c (13 sets)	8#@115c/c (10 sets)	8#@115c/c (9 sets)
SHAPE				
SHEAR WALL NO.	SW1	SW2	SW3	SW4

21. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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For KSN Builders & Developers

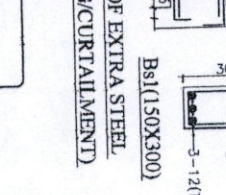
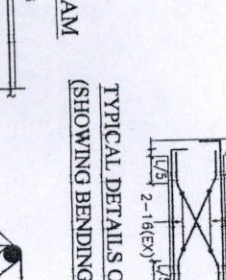
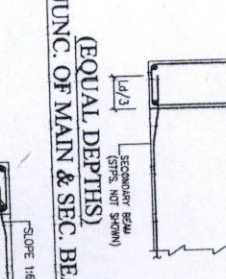
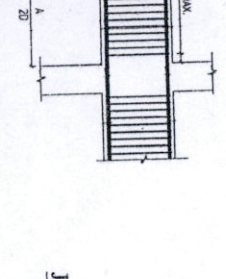
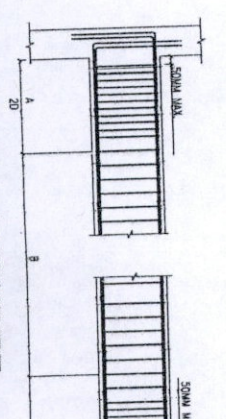
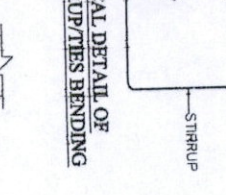
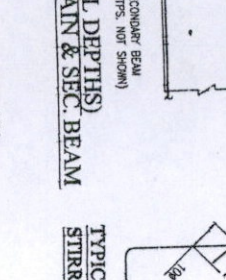
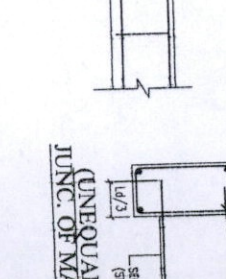
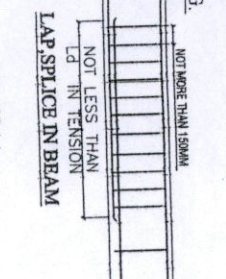
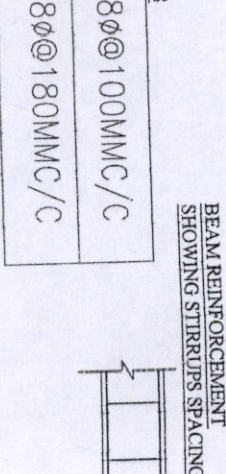
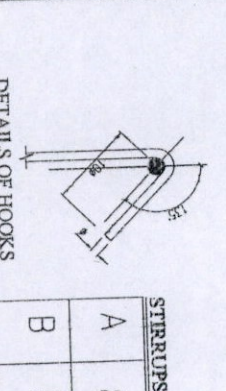
Partner



SCHEDULE OF SLAB

REINFORCEMENT SHALL BE M-25 FOR SLAB

SLAB NO.	DEPTH	REINFORCEMENT	SHORTER SPAN	LONGER SPAN
B1	120	8# @ 150 C/C	8# @ 175 C/C	
B2	120	8# @ 150 C/C	8# @ 175 C/C	



15. ALL DIMENSIONS NOTED ON THE DRAWINGS ARE IN MM UNLESS SPECIFIED OTHERWISE. LEVELS SHOWN ARE IN HEIGHTS PARTICULAR NOTES GIVEN ON OTHER DRAWINGS SHALL SUPERSEDE THIS ONE IN THIS DRAWING. WORK SHALL BE IN CONFORMITY WITH ALL APPLICABLE CODES AND STANDARDS.
16. ALL REINFORCEMENT SHALL BE M-25 UNLESS OTHERWISE SPECIFIED.
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100. ALL REINFORCEMENT SHALL BE M-25 UNLESS OTHERWISE SPECIFIED.



PROJECT:-

RESIDENTIAL COMPLEX
"GOLF GREENS"
AT CROSSINGS REPUBLIK, N.H. 24, GHAZIABAD

TITLE:-

BEAM DETAILS
AT TYPICAL FLOOR LVL.
TOWER-1

PROMOTORS:-

KSN BUILDERS & DEVELOPERS

ARCHITECTS:-

SPACE DESIGNERS

SCALE

NOT TO SCALE

DATE

DRAWN

AMADHESH KUMAR

CHECKED

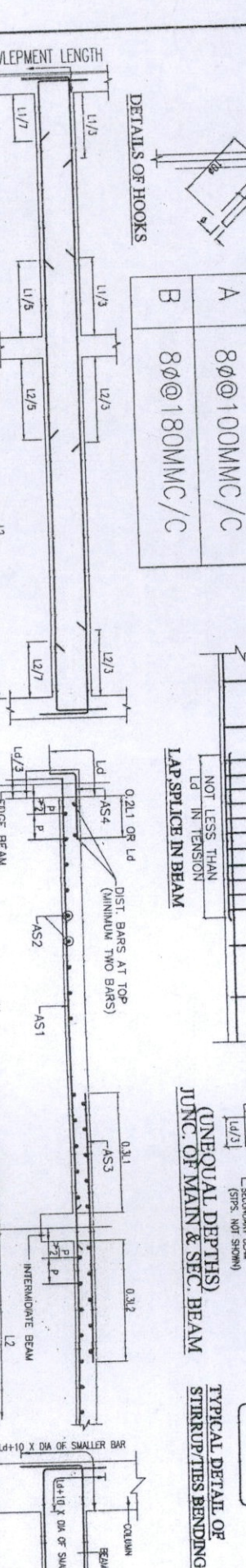
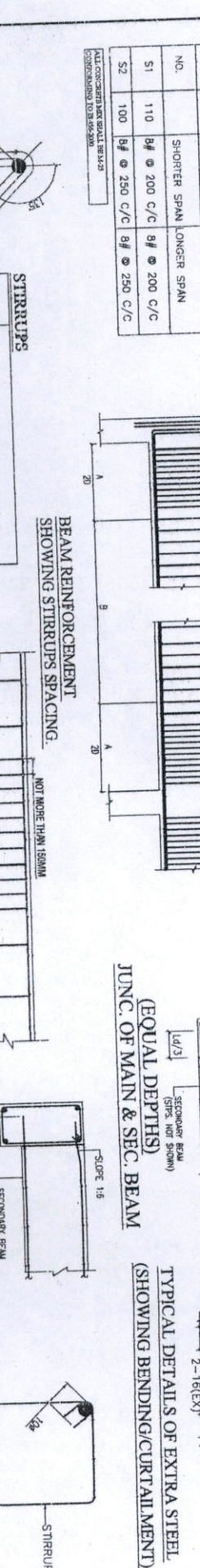
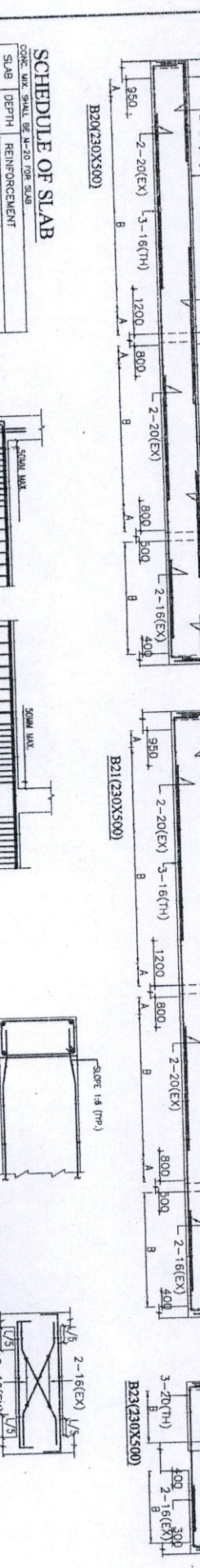
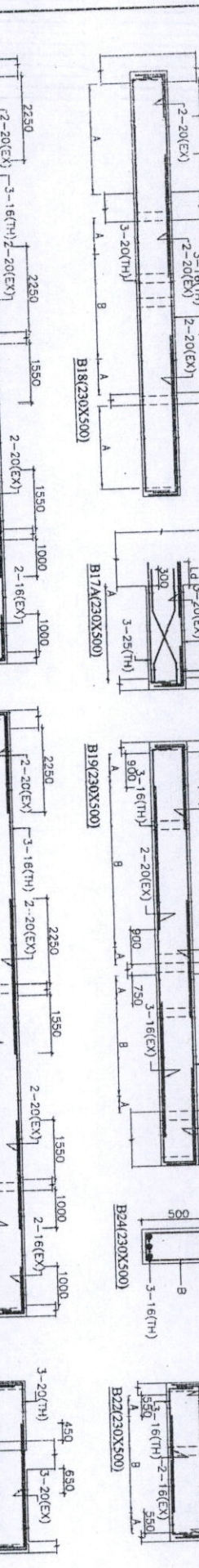
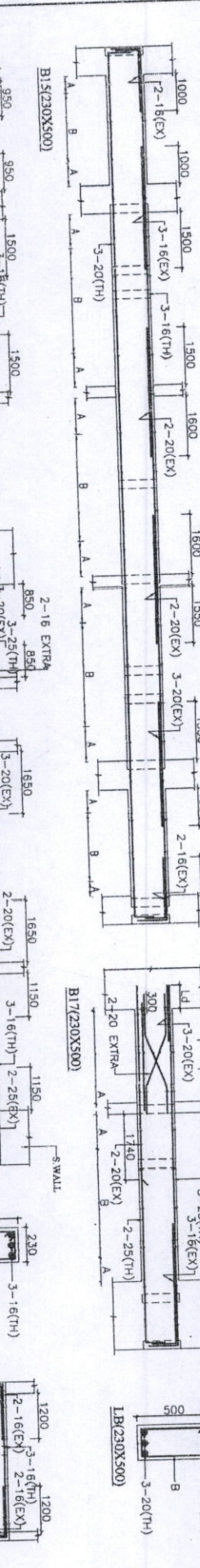
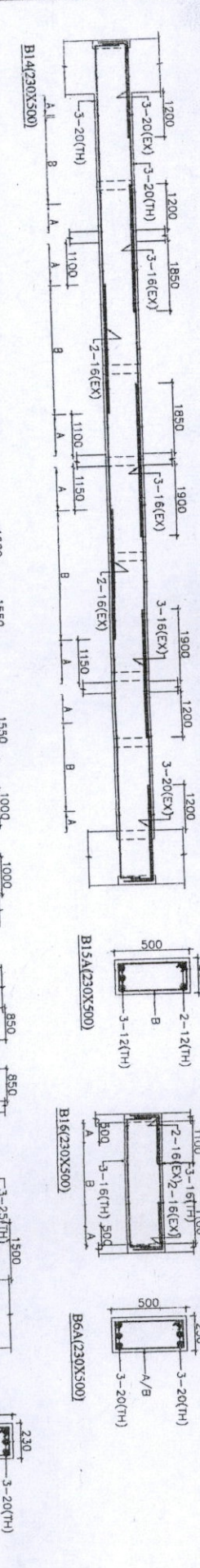
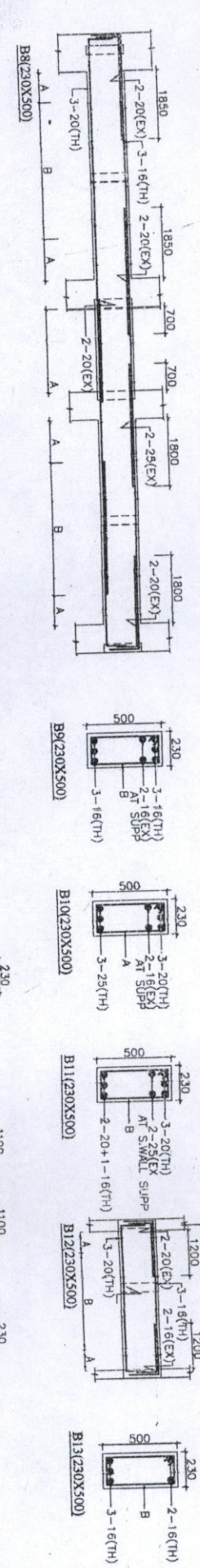
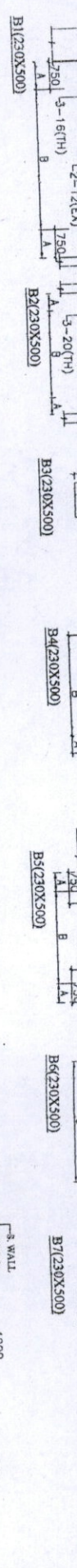
MOHINISH

CONSULTANTS:-

OPTIMUM PVT. LTD.

DESIGN

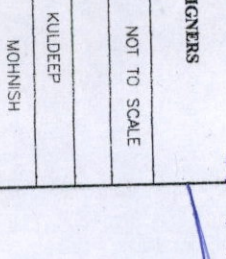
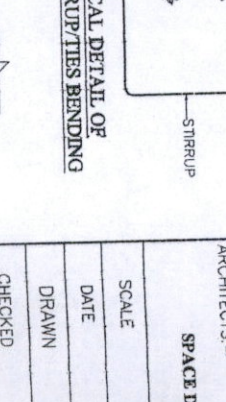
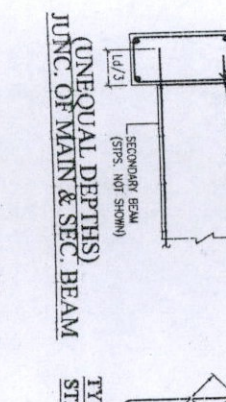
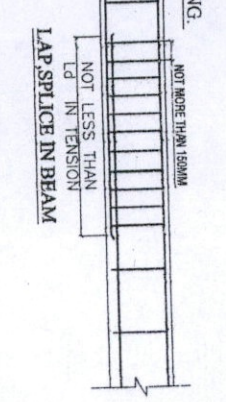
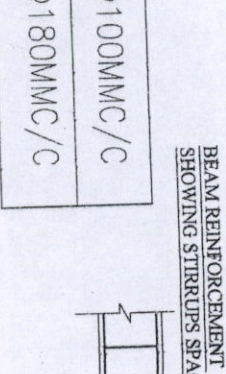
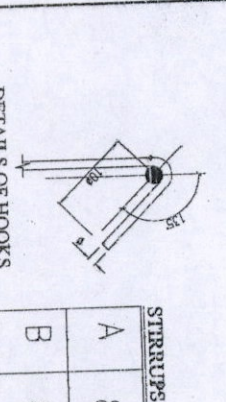
CONSULTING ENGINEERS



SCHEDULE OF SLAB
CONCRETE GRADE SHALL BE M-20 FOR SLAB

SLAB NO.	DEPTH	REINFORCEMENT	SHORTER SPAN	LONGER SPAN
S1	110	8# @ 200 C/C	8# @ 200 C/C	8# @ 200 C/C
S2	100	8# @ 250 C/C	8# @ 250 C/C	8# @ 250 C/C

NOTE: CONCRETE GRADE SHALL BE M-20 FOR SLAB



1. REINFORCED/CASTMENT CONCRETE
2. CLEAR COVER TO MAIN REINFORCEMENT SHALL BE AS FOLLOWS:
 - SLAB-----20MM
 - BEAMS-----25MM
 - FOOTINGS-----50MM(BOTTOM)
 - COLUMNS-----40MM
3. GRADE OF CONCRETE SHALL BE GRADE M-25 UNLESS NOTED OTHERWISE.
4. USE HIGH YIELD STRENGTH DEVELOPED TMT HAVING MINIMUM YIELD STRENGTH OF 415 N/SQMM SHALL ONLY BE USED FOR REINFORCEMENT.
5. ALL THE R.F.C. WORK SHALL BE COVERED UP IN ACCORDANCE WITH RELEVANT CODE.
6. IN COLUMN NOT MORE THAN ONE THIRD OF TOTAL NO. OF MAIN BARS BE OVERLAPPED AT ANY SECTION.
7. ALL THE BEAM BARS MUST HAVE ANCHORAGE LENGTH EQUAL TO DEVELOPMENT LENGTH FOR REINFORCEMENT STEEL BARS AS FOLLOWS:
 - FOR M-20 CONCRETE-----40D (D IS DIA OF THE BAR)
 - FOR M-25 CONCRETE-----45D (D IS DIA OF THE BAR)
 - FOR M-30 CONCRETE-----50D (D IS DIA OF THE BAR)
8. REINFORCEMENT BARS IN SLABS SHALL HAVE LONG SET IN SECOND END PROVIDE 90° BEND AT 100MM FROM END.
9. PROVIDE 90° BEND AT 100MM FROM END IN SLAB WHEREVER NOT NOTICED BUT REQUIRED AS PER ENGINEERING PRACTICES.
10. REINFORCEMENT IN SLAB, FOUNDATIONS ETC. SHALL BE SUPPORTED BY PROVIDING ADEQUATE LATHES STRIPS (CHAINS OF ADEQUATE SIZE OF 8MM) AS HAS BEEN PROVIDED SUCH NO. PER M AREA IN WHICH TOP BARS ARE OVERLAPPED AND CHAINS SHOULD BE FIXED TO CONTACT WITH THE SUTUREING. SHOULD NOT BE IN CONTACT WITH THE SUTUREING. MAIN REINFORCEMENT BARS IN SLAB SHOULD BE TIED AND FOR FOUNDATIONS 10MM A TYPICAL CHAIN COULD BE AS BELOW.
11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.



PROJECT:- RESIDENTIAL COMPLEX "GOVT GREENS" AT CROSSINGS REPUBLK. NH-24 GHAZIABAD.

TITLE:- BEAM DETAIL AT 12TH TO 14TH FLOOR TOWER-J1

PROMOTORS:- KSN BUILDERS & DEVELOPERS

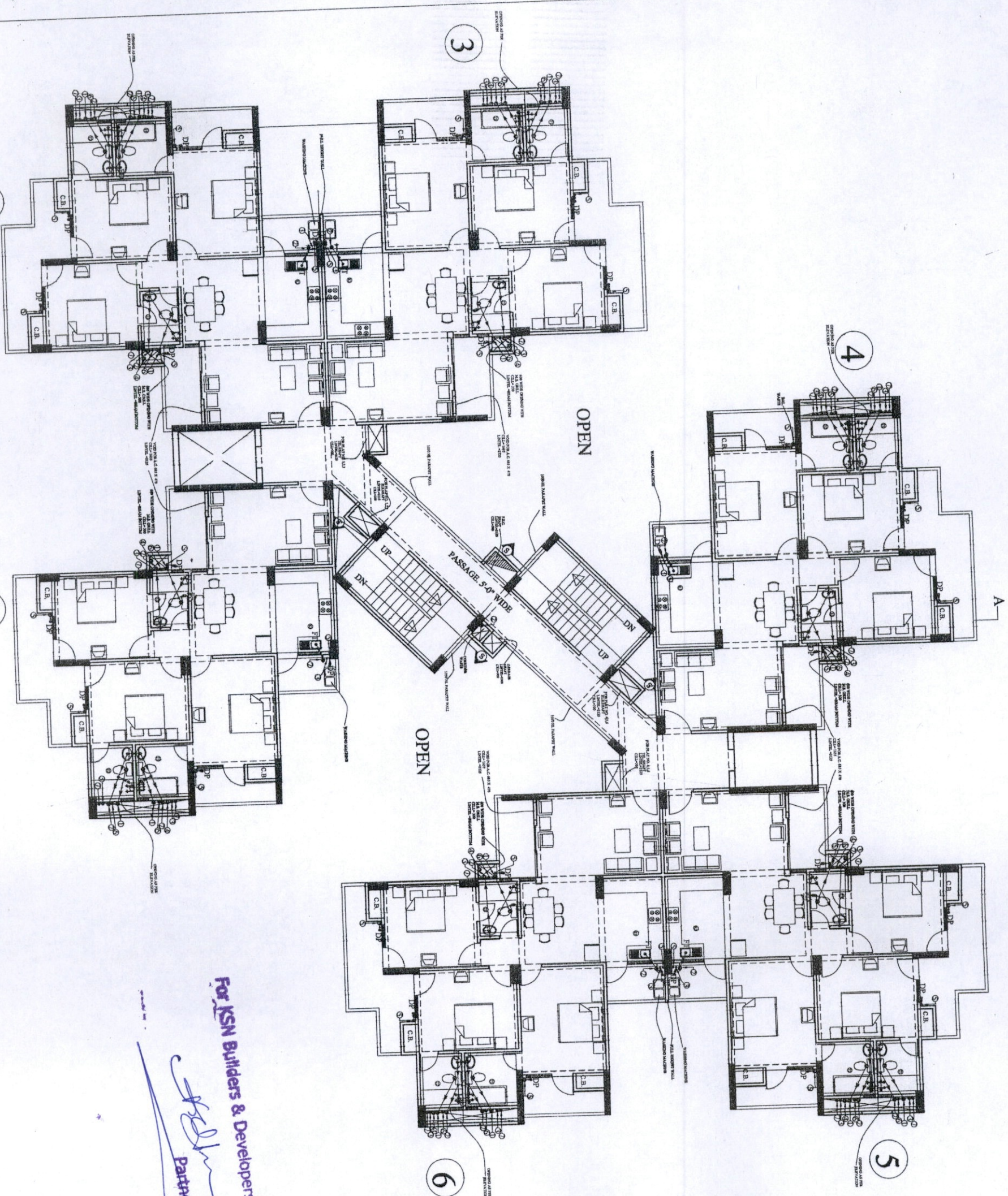
ARCHITECTS:- SPACE DESIGNERS

| SCALE | NOT TO SCALE |
|---------|--------------|
| DATE | |
| DRAWN | KULDEEP |
| CHECKED | MOHNIISH |

CONSULTANTS:-

| CLIENT | PRINTS | NO. |
|--------|----------|-----|
| DATE | REVISION | |

OPTIMUM PVT. LTD.
CONSULTING ENGRS



For KSN Builders & Developers
 Partner

- LEGENDS:-
1. 110 OD UPVC SOIL & VENT PIPE
 2. 110 OD UPVC WASTE & VENT PIPE
 3. COLD WATER DOWN TAKE PIPE
 4. 160 OD RAIN WATER PIPE FROM TERRACE
 5. 75# BALCONY WASTE PIPE
 6. ANTI-SIPHONIC PIPE
 7. FLUSHING WATER DOWN TAKE PIPE
 8. FLOOR TRAP (100X100/75mm)
 9. FLOOR DRAIN (100X50mm)
1. WATER SUPPLY PIPE WORK SHALL BE IN OPEN (CSP-11) COMPENSING TO ASH STANDARDS. ALL SHALL BE OF CPVC OF CLASS SAME AS PER COMPENSING TO A SCHEDULE FOR SOLVENT CEMENT JOINTS AS PER MFR.
 2. NO PIPE WORK SHALL BE CONSIDERED IN WALLS OR ABOVE IN IT BEING SUBJECT TO WATER TESTING AS PER THE DIRECTION OF ENGINEER.
 3. ALL WATER SUPPLY PIPES IN TOILETS SHALL HAVE AN AIRING T SPECIFIED OTHERWISE. NO WATER SUPPLY SHALL BE BURIED IN TO SUIT REQUIREMENTS OF SELECTED WORKS AND MODELS.
 4. ALL STORED WATER SHALL BE ENCASED IN 100 MM THICK CONCRETE ALL AROUND.
 5. FLOOR TRAPS: ALL FLOOR TRAPS SHALL BE FORMED OF 1000 TRAP WITH 110 MM DIA UPVC PRE EXTENSION PIECE FOR 500 MM UPVC ELBOW WITH 75 MM DIA C.P. COATING WITH FRANK.
 6. WASTE PIPES: ALL WASTE PIPE WORK FROM WASH BASIN/SINK DRAIN POINTS SHALL BE IN UPVC PIPES AND FITTING OF RIGID DRINK.

| PIPE SCHEDULE | DESCRIPTION | SIZE |
|---------------|----------------------------------|------|
| | PRE IN FROM FIT TO VERTICAL SINK | 110 |
| | PRE IN FROM TO TO VERTICAL SINK | 110 |
| | PRE IN FROM TO TO FIT | 750 |
| | PRE IN FROM TO TO FIT | 400 |

PROJECT: CROSSINGS REPUBLIC VILLAGE DUND GHAZIABAD, U.P.

OWNER: CROSSINGS REPUBLIC PVT. LTD H-174, SEC-83, NOIDA

THROUGH: MR. MANISH KUMAR MISHRA

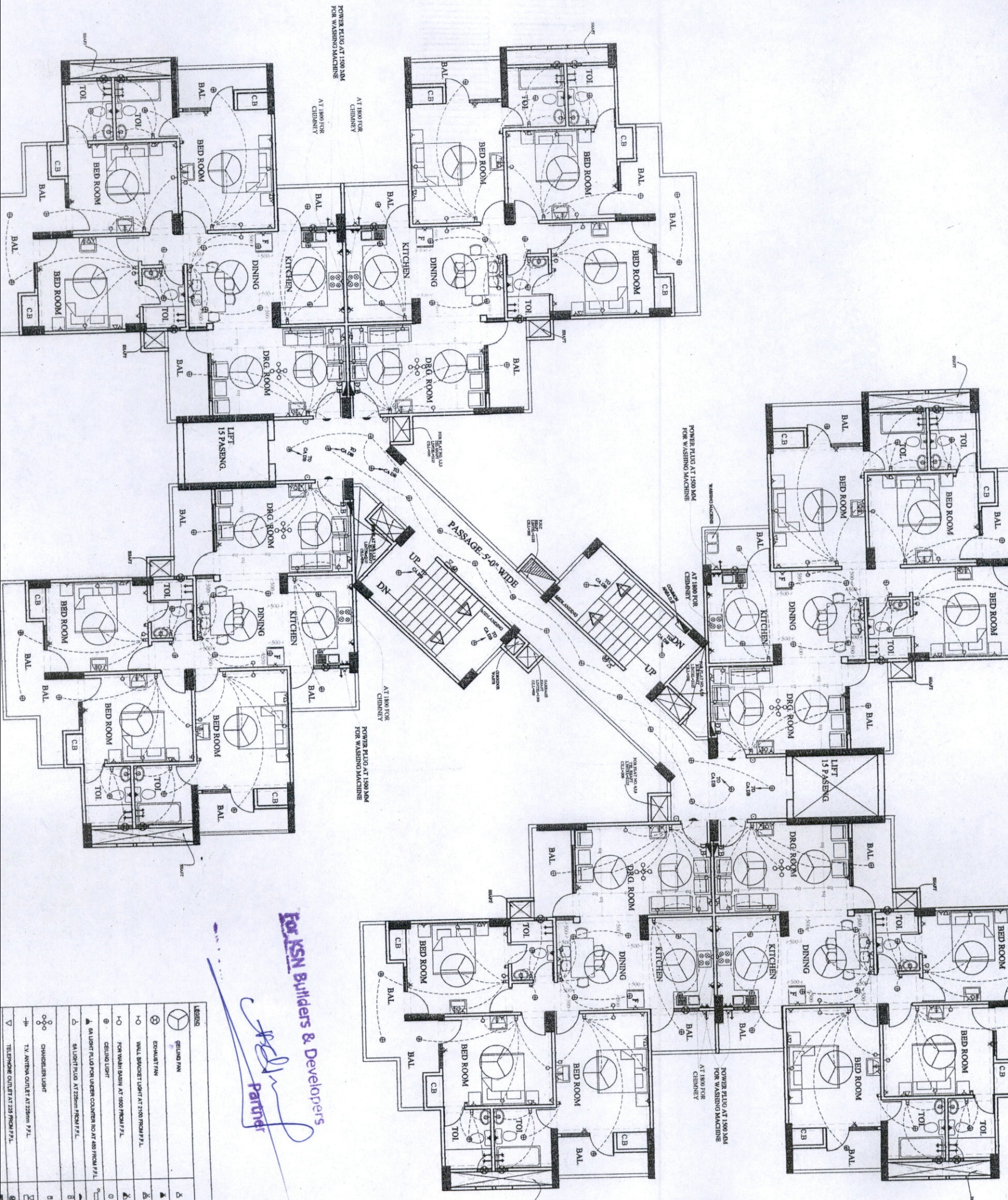
OWNER'S SIGN: *[Signature]*

ARCHITECT: VISKA ARCHITECT CA98123185

DRAWING TITLE: PLUMBING FOR TYPICAL FLOOR TOWER-11

SCALE: 1/4" = 1'-0"

DATE: 11/11/2023



POWER PLUG AT 1500 MM FOR WASHING MACHINE
 AT 1800 FOR CHINAWEY

POWER PLUG AT 1500 MM FOR WASHING MACHINE
 AT 1800 FOR CHINAWEY

POWER PLUG AT 1500 MM FOR WASHING MACHINE
 AT 1800 FOR CHINAWEY

POWER PLUG AT 1500 MM FOR WASHING MACHINE
 AT 1800 FOR CHINAWEY

For KSN Builders & Developers

Partner

| LEGEND | | |
|--------|--|---|
| ⊙ | GELING PIN | ⊗ |
| ⊙ | EXHAUST FAN | ⊗ |
| ⊙ | WALL BRACKET LIGHT AT 2100 FROM F.F.L. | ⊗ |
| ⊙ | FOR WASH BASIN AT 1500 FROM F.F.L. | ⊗ |
| ⊙ | CEILING LIGHT | ⊗ |
| ⊙ | 6A LIGHT PLUG FOR UNDER COUNTER NO. AT 480 FROM F.F.L. | ⊗ |
| ⊙ | 6A LIGHT PLUG AT 2250mm FROM F.F.L. | ⊗ |
| ⊙ | CHANGELIGHT | ⊗ |
| ⊙ | TV ANTENNA OUTLET AT 2250mm F.F.L. | ⊗ |
| ⊙ | TELEPHONE OUTLET AT 720 FROM F.F.L. | ⊗ |
| ⊙ | 16A POWER PLUG AT 2250mm FROM F.F.L. | ⊗ |
| ⊙ | POWER PLUG FOR SERVERS AT 1850mm FROM F.F.L. | ⊗ |
| ⊙ | METAL QUAD SOCKET / PLUG FOR AC AT 2250mm FFL | ⊗ |
| ⊙ | 16A POWER PLUG AT 1500mm FROM F.F.L. FOR SERVICE COUNTER | ⊗ |
| ⊙ | BELL PUSH AT 1050mm FROM F.F.L. | ⊗ |
| ⊙ | BIZZER AT 2600mm FROM F.F.L. | ⊗ |
| ⊙ | BALL BEAD FITTING AT 3400 FROM F.F.L. | ⊗ |
| ⊙ | SWITCH BOARD AT 1050mm FROM F.F.L. | ⊗ |
| ⊙ | 2ND WY SWITCH AT 1050mm FROM F.F.L. | ⊗ |
| ⊙ | HOOPER | ⊗ |
| ⊙ | MANUAL CALL POINT | ⊗ |
| ⊙ | DESTINATION BOARD | ⊗ |

PROJECT: CROSSIN QHAZIAE
 OWNER: CROC H
 THROUGH:

