

## FORM A

Forever

17 Block.

(See Rule 3)

## FORM OF DECLARATION

Date

Place:- Ghaziabad

Promoter Details: Forever Infrastructure Pvt. Ltd.

1 Name: Sanjeev Singla

2 Registered Office:

3 Local/Postal Address:

4 Date of Incorporation:

5 Name/Designation of Authorised Signatory: Sanjeev Singla (Director)

The Declarant hereby solemnly states that the following:

First: The promoter owners/ holds the land as lessee which is fully described and detailed in Annexure "A" to this declaration.

Second The Promoter has constructed on the parcel of land, described in Annexure 'A' to this declaration, an Apartment Building/ Group Housing scheme, detailed below:

S.No.	Description	Particulars
(I.)		
1	Name of the building/ Group Housing scheme	Prabhat Housing, Crossing Republik
2	Sanctioning Authority of the Plan	Ghaziabad Development Authority
3	Date of sanctioning	
4	Municipal No. of the Property	Kh. No. 910,911,912,918,919,920,921 on plot No.GH-06, Crossing Republik,Ghaziabad
5	Municipal ward of the Property	Village:-Dundahera
6	Postal address of the property	Kh. No. 910,911,912,918,919,920,921 on plot No.GH-06, Crossing Republik,Ghaziabad
7	Name of Architect/ Structural Engineer	Designers Guild United, D-2, Sector-7, Noida
8	Height of the building	48.30 mt.
9	Scheme whether residential or commercial(other than multiplex or mall)	Residential
10	No. of floors.	S+15

## Annexure'A'

Details of land of the building to which the present declaration relates

S.No.	Items		
1	Location of land of the building	Revenue village	Dundahera
		Tehsil	Ghaziabad
		District	Ghaziabad
2	Survey No. with area		
3	Date of last document of title under which the promoter claims the land		16-05-2008
4	Details of registration of the above title document	Book no.	1
		Vol. no.	7372
		Page nos.	317 to 500
		Sl. No.	2544
		Date of Regn.	16-05-2008
5	Boundaries of the land	North	Road
		South	Others Housing
		East	Others Housing
		West	Others Housing
6	Land whether freehold or leasehold		
7	If land is leasehold, the unexpired period of the lease		

Place

For Forever Infrastructure Pvt. Ltd.  
Signature of declarant

with designation and seal Director

Date

## Annexure 'B'

(Details of Apartment)

Name of Condominium

Value of Condominium

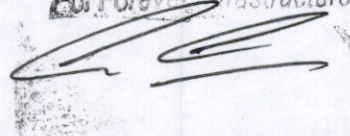
S.No.	Floors	Identifiable no. Of the apartment	No. of Rooms	Covered area (in sq. mtrs.)	Percentage of undivided share in land on the basis of covered area of the apartment	Proportinate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential/ Commercial	Value of the Apartment
1	2	3		4	5	6	7	
1	Ground Floor	001	0	97.743	1.11	1.00		
		002	0	97.174	1.10	0.99		
		003	0	98.263	1.11	1.00		
		004	0	98.032	1.11	1.00		
		005	0	98.413	1.12	1.00		
		006	0	98.642	1.12	1.01		
2	First Floor	101	3	97.743	1.11	1.00		
		102	3	97.174	1.10	0.99		
		103	3	98.263	1.11	1.00		
		104	3	98.032	1.11	1.00		
		105	3	98.413	1.12	1.00		
		106	3	98.642	1.12	1.01		
3	Second Floor	201	3	97.743	1.11	1.00		
		202	3	97.174	1.10	0.99		
		203	3	98.263	1.11	1.00		
		204	3	98.032	1.11	1.00		
		205	3	98.413	1.12	1.00		
		206	3	98.642	1.12	1.01		
4	Third Floor	301	3	97.743	1.11	1.00		
		302	3	97.174	1.10	0.99		
		303	3	98.263	1.11	1.00		
		304	3	98.032	1.11	1.00		
		305	3	98.413	1.12	1.00		
		306	3	98.642	1.12	1.01		
5	Fourth Floor	401	3	97.743	1.11	1.00		
		402	3	97.174	1.10	0.99		
		403	3	98.263	1.11	1.00		
		404	3	98.032	1.11	1.00		
		405	3	98.413	1.12	1.00		
		406	3	98.642	1.12	1.01		
6	Fifth Floor	501	3	97.743	1.11	1.00		
		502	3	97.174	1.10	0.99		
		503	3	98.263	1.11	1.00		
		504	3	98.032	1.11	1.00		
		505	3	98.413	1.12	1.00		
		506	3	98.642	1.12	1.01		
7	Sixth Floor	601	3	97.743	1.11	1.00		
		602	3	97.174	1.10	0.99		
		603	3	98.263	1.11	1.00		
		604	3	98.032	1.11	1.00		
		605	3	98.413	1.12	1.00		

8	Seventh Floor	606	3	98.642	1.12	1.01
		701	3	97.743	1.11	1.00
		702	3	97.174	1.10	0.99
		703	3	98.263	1.11	1.00
		704	3	98.032	1.11	1.00
		705	3	98.413	1.12	1.00
		706	3	98.642	1.12	1.01
9	Eighth Floor	801	3	97.743	1.11	1.00
		802	3	97.174	1.10	0.99
		803	3	98.263	1.11	1.00
		804	3	98.032	1.11	1.00
		805	3	98.413	1.12	1.00
		806	3	98.642	1.12	1.01
10	Ninth Floor	901	3	97.743	1.11	1.00
		902	3	97.174	1.10	0.99
		903	3	98.263	1.11	1.00
		904	3	98.032	1.11	1.00
		905	3	98.413	1.12	1.00
		906	3	98.642	1.12	1.01
11	Tenth Floor	1001	3	97.743	1.11	1.00
		1002	3	97.174	1.10	0.99
		1003	3	98.263	1.11	1.00
		1004	3	98.032	1.11	1.00
		1005	3	98.413	1.12	1.00
		1006	3	98.642	1.12	1.01
12	Eleventh Floor	1101	3	97.743	1.11	1.00
		1102	3	97.174	1.10	0.99
		1103	3	98.263	1.11	1.00
		1104	3	98.032	1.11	1.00
		1105	3	98.413	1.12	1.00
		1106	3	98.642	1.12	1.01
13	Twelfth Floor	1201	3	97.743	1.11	1.00
		1202	3	97.174	1.10	0.99
		1203	3	98.263	1.11	1.00
		1204	3	98.032	1.11	1.00
		1205	3	98.413	1.12	1.00
		1206	3	98.642	1.12	1.01
14	Thirteen Floor	1301	3	97.743	1.11	1.00
		1302	3	97.174	1.10	0.99
		1303	3	98.263	1.11	1.00
		1304	3	98.032	1.11	1.00
		1305	3	98.413	1.12	1.00
		1306	3	98.642	1.12	1.01
15	Fourteenth Floor	1401	3	97.743	1.11	1.00
		1402	3	97.174	1.10	0.99
		1403	3	98.263	1.11	1.00
		1404	3	98.032	1.11	1.00
		1405	3	98.413	1.12	1.00
		1406	3	98.642	1.12	1.01
16	Fifteenth Floor	1501	3	97.743	1.11	1.00
		1502	3	97.174	1.10	0.99
		1503	3	98.263	1.11	1.00
		1504	3	98.032	1.11	1.00
		1505	3	98.413	1.12	1.00
		1506	3	98.642	1.12	1.01

Residential

Note:- The percentage of undivided share in the land is calculated on the basis of the covered area of the apartment in relation to the total covered area of the apartments, being aggregate of Column No. 4.

For Forever Infrastructure Pvt. Ltd.



Director

Annexure 'C'

Details of covered area of apartments and total covered area of common areas and facilities/ limited common areas and facilities

Sl. No.	Particulars	(3)	(4)	(5)	(6)
(1)	(2)	(3)	(4)	(5)	(6)
(a)	Total covered area of apartment at various floors	8821.275	x	x	x
(b-1)	Total covered area of common areas & facilities (as defined in S.3 (i) of the Act)	x	2850	x	x
(b-2)	Total covered area of limited common areas & facilities (as defined in S.3 (s) of the Act)	x	x	x	2211.531
(c)	Total covered area of the building { Total of (a), (b-1) & (b-2)}	x	x	x	13882.81
	Sum up	i.e. (a)	i.e. (b-1)	i.e. (b-2)	i.e. ©

For Forever Infrastructure Pvt. Ltd.

Place

Signature of declarant Director  
with designation and seal

Date

## Annexure 'D'

Details of the common area and facilities of the building to which the present declaration relates

Sl. No	Name of the common areas & facilities	Its description/area
(a)	The parcel of land described in paragraph first of this Deed	
(b)	Basement (if any) (as shown in exhibit 'A' attached hereto)	One basement for parking and services of area 2850 sqmt.
©	Facilities in basement	Parking & Under ground Tanks
(d)	Parking facilities (as shown in exhibit 'A' attached hereto)	
(e)	Facilities on the ground floor (as shown in exhibit 'A' attached hereto)	
	(i) Garden lawns	Provided
	(ii) Children playing area	Provided
	(iii) Swimming pool	Provided
	(iv) Tennis Court	NA
	(v) Badminton Court	NA
	(vi) Commercial areas & facilities	NA
	(vii) Lobby & facilities	Provided
	(viii) Any other facility	NA
(f)	Common areas & facilities located throughout the building (as shown in exhibit 'A')	
	(i) Elevator	4 No. of Elevator
	(ii) Area of shaft	18 sqmt. At each floor
	(iii) Elevator shafts extends from ground floor upto	15th Floor
	(iv) No. of stairways 'A', which lead from the ground floor to the roof of the building	4. no. of stairways
	(v) (iv) No. of stairways 'B', which lead from the open court to the upper floors.	NA
	(vi) A flue (if applicable), extending from the incinerator in the basement to the roof of the building, which has a hooper door in each one of the.....Upper floors for the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the .....upper floors.	NA
	(vii) No. of water tanks	9 no. of water tanks.
	(viii) Elevator pent-house with corresponding elevator equipment located on the roof of the building.	Machine room provided
	(ix) Plumbing network throughout the building.	Provided
	(x) Electric wiring net-work, throughout the building	Provided
	(xi) Necessary light(s).	Provided

(xii) Telephone(s)	Provided
(xiii) Public water connection(s)	Done
(xiv) Foundations and main walls, columns, girders, beams and roofs of the building	RCC framed structure as per IS Code
(xv) Tanks(s)	UG & OHT
(xvi) Pump(s)	Provided
(xvii) Motor(s)	Provided
(xviii) Fans	Provided
(xix) Fire fighting equipments.	As/per NBC
(xx) Compressors	NA
(xxi) Duct(s)	for plumbing
(xxii) Central Air Conditioning Equipments	NA
(xxiii) Heating equipment	NA
(xxiv) General all apparatus & installation existing for common use	NA

Place

Signature of declarant  
Sri Sri Sri Infrastructure Pvt. Ltd.

with designation and seal

Date

Director

Note:- Section 3(i) of the Act has defined the term "common areas and facilities" and the above common areas and facilities are illustrative and not exhaustive.

Annexure 'E'

Details of limited common areas and facilities of the building to which present declaration relates

"Limited common areas & Facilities " (as defined in S.3© of the Act and shown in Exhibit 'A'		
(i)	Parking	Stilt parking of 588.267 sqmt.
(ii)	Lobby, giving access to the elevator(s) to specified dwelling unit.	Well connected lobby to give access to specified dwelling unit
(iii)	Corridor extending from the lobby to the stairway	Total 1623.264 sqmt of area is provide at all floors

Total Area=2211.531 sqmt.

Place:

Signature of declarant  
With designation and seal Ltd.



Director

Date:

Note:- Section 3(s) of the Act has defined the "Limited common areas and facilities" means "those areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."



Annexure 'F'

Details of the "independent areas" of the building to which the present declaration relates

"independent areas" (as defined in S.3(P) of the Act)		
(i)	Parking	NA
(ii)	Servant Quarter	NA
(iii)	Club with independent access	NA
(iv)	Convenient Shops	NA
(v)	Covered garage/store	NA
(vi)	Terrace attached to an apartment. (if applicable)	NA

Note:- Section 3(P) of the Act has defined the term "independent area" which the areas which have been declared but not included as common areas for the joint use of apartment and may be sold by the promoter without the interference of other apartment owners.

Place:-

Date:-

*For Forever Infrastructure Pvt. Ltd.*

*Signature of declarant*  
*With designation and seal*  
*Director*