

EXOTICA EASTERN COURT PROJECT

DECLARATION

FORM A
(See Rule 3)
FORM OF DECLARATION

Date:
01/011/2014
Place: **Noida**
Promoter Details:

1. Name: (1) M/s Exotica Housing & infrastructure Co. (P) Ltd. &
(2) M/s H.R. Buildcon (P) Ltd .
2. Registered Address: 228, Basement, Jagriti Enclave, Delhi-110092
3. Local/ Postal Address: Plot No.GH.-6 Building No. 6/M1/M2/M3
Village Dundahera Sector -1 Crossing Republik Ghaziabad (UP)
4. Date of Incorporation (if applicable):
5. Name/designation of Authorized Signatory:
(1) Mr.Rakesh Kumar Jan (Authorized Signatory)
(2) Mr. Pramod Bahl (Director)

The Declarant hereby solemnly states the following:

FIRST: The Promoter owns /holds the land as lessee which is fully described and detailed in Annexure 'A' to this declaration.

SECOND: The Promoter has constructed on the parcel of land, described in Annexure 'A' to this declaration, an Apartment Building/Group Housing scheme, detailed below:

Sl. No.	Description	Particulars
(1)	(2)	(3)
1.	Name of the building/Group Housing Scheme	EXOTICA EASTERN COURT
2.	Sanctioning Authority of the plan	Ghaziabad Development Authority
3.	Date of sanction	16.09.2009
4.	Municipal No. of the property	Plot No.GH.- 6/M1/M2/M3,
5.	Municipal Ward of the property	Dundahera
6.	Postal address of the property	Plot No.GH.-6 Building No. 6/M1/M2/M3, Village Dundahera, Sector-1, Crossings Republik, Ghaziabad (UP)
7.	Name of Architect / Structural Engineer	Mr. Anoj Aggarwal

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jan

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Pramod Bahl
Director / Auth. Signatory

8.	Height of the building	BLOCK – M1 BLOCK – M2 = 44.95 M BLOCK – M3
9.	Scheme whether residential or commercial (other than multiplex or mall)	Residential
10.	No. of Floors	G+14th Floor

THIRD: That the said property consists of the apartments detailed in Annexure 'B' to this declaration. The various apartments of the scheme are capable of individual utilization on account of having their own exit to common areas and facilities of the building/property scheme and the apartment will be sold to one or more persons, each person obtaining a particular and exclusive property rights thereto and each apartment constituting a heritable and transferable immovable property within the meaning of any law for the time being in force in the State (hereinafter referred to as the 'Apartment') and also an undivided interest in the general and/or 'limited common areas and facilities' of the building/property scheme, as listed in this declaration deed, necessary for their adequate use and enjoyment, and referred to as:-

(a) Common facilities for dwelling units of individual block

(b) Limited common facilities for apartments, means those common areas and facilities which have been designated in writing by the promoter as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

FOURTH: That the aforesaid building has a total floor area of **28327.802** square meters on all floors, of which **19690.800** square meters will constitute the apartments and remaining **7710.107** square meters will constitute the 'common areas and facilities' and **926.895** square meters constitute 'limited common areas and facilities', which have been detailed in Annexure 'C' hereto.

FIFTH: That this condominium shall be known as "EXOTICA EASTERN COURT" (insert the name of the building / scheme as given above) and that the apartments and 'common areas and facilities' (as defined in S. 3(i) of the Act), the 'limited common areas and facilities' of the building / scheme (as defined in S. 3(s) of the Act), and the 'independent areas' (as defined in S. 3(p) of the Act), and shall be as follows –

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jaermod Behl

Director / Auth. Signatory

Sl. No.	Item	Details
1.	"Common areas & facilities" [as defined in S. 3(i) of the Act]	As per Annexure 'D'
2.	"Limited common areas & facilities" [as defined in S. 3(s) of the Act]	As per Annexure 'E'
3.	"Independent areas" [as defined in S. 3(p) of the Act]	As per Annexure 'F'

SIXTH: (a) that the right, title and interest of each apartment owner and his proportionate share in the profits and common expenses for the common areas and facilities, as well as the proportionate representation for voting purpose in the meeting of the Association of Apartment Owners of the EXOTICA EASTERN COURT Condominium is based on the proportionate value of each apartment to the total value of all apartments.

SEVENTH: That the Administration of EXOTICA EASTERN COURT Condominium consisting as aforesaid of the building and parcel of land described above shall be in accordance with the provisions of this Deed and with the provisions of the bye-laws of the association of the apartment owners. The promoter shall be responsible for full quality control of materials and workmanship at site. The specifications of construction detailed in 'Schedule-A' hereto.

EIGHTH: That for the purpose of stamp duty and registration fees payable on the deed of apartments under S. 13 of the Act, the value of the

- (a) land of each apartment would be computed on the basis of the percentage of the undivided share so that the aggregate of the land component of all of the apartments of the building is equivalent to the total value of the land of the building;
- (b) the construction of each apartment would be also computed on the basis of the percentage of the undivided share as it bears to the total covered area.

NINTH: that the 'common areas and facilities' as well as the 'limited common areas and facilities' shall remain undivided and no apartment owner shall bring any action for their partition or division thereof.

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Bhat

Director / Auth. Signatory

TENTH: that the percentage of the undivided interest in the "common areas and facilities" as well as the "limited common areas and facilities" established herein shall not be changed except with the unanimous consent of all the apartment owners and approval of Competent Authority expressed in amendment to this deed.

ELEVENTH: that the undivided interest in the 'common areas and facilities' as well as the 'limited common areas and facilities' shall not be separated from the apartment to which they pertain and shall be deemed conveyed or encumbered with the unit even though such interest is not expressly mentioned or described in the conveyance or other instrument;

TWELTH: that neither the dedication of the property to the plan of apartment ownership herein shall not be revoked, nor the property removed from plan of apartment ownership, or any of the provisions herein amended unless all the apartment owners and the mortgagees of all the mortgages covering the units unanimously agree to such revocation, or amendment or removal of the property from the plan by only registered instruments;

THIRTEENTH: that if the property, subject to the plan of Apartment Ownership is totally or substantially damaged or destroyed, the repair, reconstruction, or disposition of the property shall be as provided by the Act;

FOURTEENTH: that where an apartment is sold pursuant to the recovery of the mortgage money, then neither the mortgagee nor the purchaser who derives title to be apartment at such sale or his successors or assigns shall be liable for assessments by the association which became due prior to the acquisition of the title by such acquirer but the association of apartment owners would be entitled to recover the amount subsequent to the date of acquisition of title by such acquirer.

FIFTEENTH: that the 'independent areas', declared herein in the Annexure 'F' are not included as common areas for the joint use of the apartment and the promoter would be at liberty to sell them or to construct thereupon without interference of other apartment owners in view of the provisions of S. 3(p) of the Act.

SIXTEENTH: The promoter shall maintain the common areas and facilities till the association is formed and shall be entitled to collect the maintenance charges @ Rs.1.67 per Sq. Ft. per month from the owners of each apartment.

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Bala

Director / Auth. Signatory

IN WITNESS WHEREOF, Shri Dinesh Kumar Jain for on and behalf of M/s Exotica Housing & Infrastructure Co. (P) Ltd. & Shri Pramod Bahl for on and behalf of M/s H.R. Buildcon (P) Ltd. (the promoter) here to set his hand this 17th day of January of year 2014

Signed and delivered by

(Seal of the Promoter)

In the presence of:-

1. ____

2. ____

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Pramod Bahl

Director / Auth. Signatory

Annexure 'A'Details of the land of the building to which the present declaration relates

Sl. No.	Items		
1.	Location of the land of the building	Revenue village	Dundahera Sector1, Crossing Republik
		Tehsil	Dadri
		District	Ghaziabad
2.	Survey No. with area	In Part of Land Khasra Nos. 931,940,941,942, 943 & 947.	
3.	Date of last document of title under which the promoter claims the land	Specify date	07.08.2009
4.	Details of Registration of the above title document	Book No.	1
		Vol. No.	7988
		Page Nos.	151 to 532
		Sl. No.	3112
		Date of Regn.	07.08.2009
5.	Boundaries of the land	North	Other Projects, Prateek, The Royal Cliff
		South	12 Meter Wide Road
		East	30 Meter Wide Road
		West	Other Projects, Bulland Height, Sam Residency
5.	Land whether freehold or leasehold		Freehold
6.	If land is leasehold, the unexpired period of the lease		N/A

Place: Signature of declarant

with designation and seal

Date:

For Exotica Housing & Infrastructure Co. Pvt. Ltd.
Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeermod Bhat
 Director/ Auth. Signatory

Annexure-B'
(Details of Apartments)

Name of condominium:

Value of condominium :

Sl. No.	Floor	Identifiable No. of the Apartment	No. of Rooms	Covered area (in sq. mtrs.)	Percentage of undivided share in land on the basis of covered area of the apartment	Proportionate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential/ Commercial	Value of the Apartment
(1)	(2)	(3)	(4)	(5)	(6)	(7)		
1.	Ground Floor	001	Specify	Specify	Specify	Residential		
		002	Specify	Specify	Specify	Residential		
		003	Specify	Specify	Specify	Residential		
		004	Specify	Specify	Specify	Residential		
2.	First Floor	101	Specify	Specify	Specify	Residential		
		102	Specify	Specify	Specify	Residential		
		103	Specify	Specify	Specify	Residential		
		104	Specify	Specify	Specify	Residential		
3.	Onward Floors	201	Specify	Specify	Specify	Residential		
		202	Specify	Specify	Specify	Residential		
		203	Specify	Specify	Specify	Residential		
		204	Specify	Specify	Specify	Residential		

Note: The percentage of undivided share in the land is calculated on the basis of the covered area of the apartment in relation to the total covered area of the apartments, being the aggregate of Column No. 4.

Place: Signature of declarant with designation and seal

Date:

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rajesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Parmod Bhat

Director / Auth. Signatory

Annexure-'C'

Details of covered area of apartments and total covered area of common areas and facilities / limited common areas and facilities

Sl. No.	Particulars				
(1)	(2)	(3)	(4)	(5)	(6)
(a)	Total covered area of apartments at various floors	19690.800	X	X	X
(b-1)	Total covered area of common areas & facilities (as defined in S. 3(i) of the Act)	X	7710.107	X	X
(b-2)	Total covered area of limited common areas & facilities (as defined in S. 3(s) of the Act)	X	X	926.895	X
(c)	Total covered area of the building [Total of (a), (b-1) & (b-2)]	X	X	X	28327.802
	Sum up	19690.800	7710.107	926.895	28327.802

Place: Signature of declarant

with designation and seal

Date:

For Exotica Housing & Infrastructure Co. Pvt. Ltd.
Rakesh Jais
 (Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.
Jeemod Bhat
 Director / Auth. Signatory

Annexure 'D'

Details of the common area and facilities of the building to which the present declaration relates

Sl. No.	Name of the common areas & facilities	Its description /area
(a)	The parcel of land described in paragraph First of this Deed.	
(b)	Basement (if any) (as shown in Exhibit 'A' attached hereto)	4469 sq. mtr. & one Floor.
(c)	Facilities in the basement	Club & Parking
(d)	Parking facilities (as shown in Exhibit 'A' attached hereto)	182 Ecs.
(e)	Facilities on the ground floor (as shown in Exhibit 'A' attached hereto)	
	(i) Garden lawns	378.92 sq. mtrs.
	(ii) Children playing area	58.30 sq. mtrs.
	(iii) Splash Pool	12.96 sq. mtrs.
	(iv) Tennis Court	Nil.
	(v) Badminton Court	81.74 sq. mtrs.
	(vi) Commercial areas & facilities	N/A
	(vi) Lobby & facilities	N/A
	(viii) Any other facility	Maintanance 21.29 Sqm.
(f)	Common areas & Facilities located throughout the building (as shown in Exhibit 'A')	

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Bhat

Director / Auth. Signatory

(i)	Elevator	6 nos.
(ii)	Area of shaft(s) (G.F to roof)	500.295 sq. mtrs.
(iii)	Elevator shaft extends from ground floor up to	B+G+14
(iv)	No. of stairway 'A', which lead from the ground floor to the roof of the building	Fire s/case-3 Nos..& 655.35 Sqm
(v)	No. of stairway 'B' (if any), which lead from the open court to the	Main s/case- 3 Nos.. & 697.95 Sqm.
(vi)	A flue(if applicable), extending from the incinerator in the basement to the roof of the building, which has a hopper door in each one of the ...upper floors for the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the ..upper floors.	N/A
(vii)	No. of Water tank(s)	2 Nos..
(viii)	Elevator pent-house with corresponding elevator equipment located on the roof of the building.	N/A
(ix)	Plumbing network throughout the building	Available.
(x)	Electric wiring net-work throughout the building	Available.
(xi)	Necessary light(s)	Available.
(xii)	Telephone(s)	Available.
(xiii)	Public water connection(s)	Available.

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jaimod Bhat

Director / Auth. Signatory

(xiv)	Foundations and main walls, columns, girders, beams and roofs of the building	As per Drg. Attached.
(xv)	Tank(s)	O.H , 2 NOS., TOTAL CAPACITY 110,000'00 LTRS.
(xvi)	Pump(s)	As per list attached.
(xvii)	Motor(s)	-do-
(xviii)	Fans	-do-
(ixx)	Firefighting equipment(s)	As per norms.
(xx)	Compressor(s)	N/A
(xxi)	Duct(s)	N/A
(xxii)	Central Air Conditioning Equipment(s)	N/A
(xxiii)	Heating Equipment	N/A
(xxiv)	General all apparatus & installation existing for common use	As per list attached.

Place: Signature of declarant

with designation and seal

Date:

Note:--Section 3(i) of the Act has defined the term "common areas and facilities" and the above common areas and facilities are illustrative and not exhaustive.

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Bala

Director / Auth. Signatory

Annexure 'E'Details of the limited common area and facilities of the building to which the present declaration relates

"Limited Common areas & Facilities" (as defined in S. 3(c) of the Act and shown in Exhibit 'A')		
(i)	Parking	Nil.
(ii)	Lobby, giving access to the elevator(s) to specified dwelling unit	335.88 Sqm, in Block M1, M2 & M3 F.F to top floor & 75 in Nos.
(iii)	Corridor extending from the lobby to the stairway	591.015 Sqm, in Block M1, M2 & M3 F.F to top floor & 75 in Nos

Place: Signature of declarant

with designation and seal

Date:

Note:—Section 3(s) of the Act has defined the term "limited common areas and facilities" means "those common areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain
(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Pranmod Bhat
Director / Auth. Signatory

Annexure 'F'

Details of the "independent areas" of the building to which
the present declaration relates

"independent areas" (as defined in S. 3(P) of the Act)		
(i)	Parking	Basement,, 107 Nos Slot. Open, 75 No. slot.
(ii)	Servant quarter	Nil
(iii)	Club with independent access	Nil
(iv)	Convenient shops	Nil
(v)	Covered store	N/A
(vi)	Terrace attached to an apartment. (if applicable)	1381.275 Sqm, (Block M1, M2 & M3), 3 Nos.

Note:--Section 3(p) of the Act has defined the term "independent area" which means the areas which have been declared but not included as common areas for joint use of apartments and may be sold by the promoter without the interference of other apartment owners.

Place: Signature of declarant with designation and seal

Date:

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemad Bala

Director / Auth. Signatory

Schedule-A
[Specifications of Construction]

1. Foundation: RCC Raft in Foundation.
2. Flooring: Drawing /Dining Room/Bed room- Vitrified tile and wooden flooring in one bedroom.
3. Doors and Hardware: European style designer flush doors with hardwood frame and polish/paint, with anodized aluminum hardware.
4. Windows: hard wood marandi frames and doors with anodized aluminum hardware.
5. Internal Finish: Plastered and painted with OB.D. and one wall in Master bed room duly textured finish.
6. External Finish: Weather proof finish of pleasing shades.
7. Sanitary ware and fittings: European style WC with wash basin of standard make and CP Fitting of standard make.
8. Electrical: Fire resistant wiring in PVC concealed conduit. Provision for adequate light and power points as well as telephone & TV outlets with protective MCB's.
9. Plumbing and water line: PVC soil & waste line and PPR/uPVC & GI fitting, water tanks for adequate water supply.

Place: Signature of declarant with designation and seal

Date:

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Baly

Director / Auth. Signatory

FORM "B"

(See Rule 6)

Undertaking by the person acquiring apartment (Under Section 10 (b) of the Uttar Pradesh Apartment (Promotion of Construction, Ownership & Maintenance) Act, 2010.

Office of the Competent Authority at.....

I _____ S/o _____ R/o _____ acquired apartment no. _____ in the property _____ by way of gift, exchange, purchase or otherwise or taking lease of an apartment from Shri _____

I hereby undertake to comply with the covenants, conditions and restrictions subject to which said apartment was owned by the aforesaid Shri _____ before the date of transfer.

Further, I shall be subject to the provisions of The Uttar Pradesh Apartment (Promotion of Construction, Ownership & Maintenance) Act, 2010.

Signature

In presence of

1.

2.

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeermod Balm

Director / Auth. Signatory

ANNEXURE- 'B'
(Detail of Apartments)

Name of Condominium : Exotica Eastern Court Block-M1

Value of Condominium :

Sl. No.	Floor	Identifiable No. of the Apartment	No. of Rooms	COVERED AREA (IN SqM)			Percentage of undivided share in land on the basis of covered area of the apartment	Proportionate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential / Commercial	Value of the Apartment
				UNIT AREA WITH CUPBOARD (FAR)	BALCONY AREA (NON FAR)	Total				
1	Ground Floor	M1-001	3BHK	98.849	14.158	113.007	0.57%	AS PER RULE	RESIDENTIAL	
		M1-002	4BHK	103.626	16.207	119.833	0.61%			
		M1-003	3BHK	80.458	14.185	94.643	0.48%			
		M1-004	3BHK	98.159	14.239	112.398	0.57%			
2	First Floor	M1-101	3BHK	98.849	14.158	113.007	0.57%			
		M1-102	4BHK	103.626	16.207	119.833	0.61%			
		M1-103	3BHK	80.458	14.185	94.643	0.48%			
		M1-104	3BHK	98.159	14.239	112.398	0.57%			
3	Second Floor	M1-201	3BHK	98.849	14.158	113.007	0.57%			
		M1-202	4BHK	103.626	16.207	119.833	0.61%			
		M1-203	3BHK	80.458	14.185	94.643	0.48%			
		M1-204	3BHK	98.159	14.239	112.398	0.57%			
4	Third Floor	M1-301	3BHK	98.849	14.158	113.007	0.57%			
		M1-302	4BHK	103.626	16.207	119.833	0.61%			
		M1-303	3BHK	80.458	14.185	94.643	0.48%			
		M1-304	3BHK	98.159	14.239	112.398	0.57%			
5	Fourth Floor	M1-401	3BHK	98.849	14.158	113.007	0.57%			
		M1-402	4BHK	103.626	16.207	119.833	0.61%			
		M1-403	3BHK	80.458	14.185	94.643	0.48%			
		M1-404	3BHK	98.159	14.239	112.398	0.57%			
6	Fifth Floor	M1-501	3BHK	98.849	14.158	113.007	0.57%			
		M1-502	4BHK	103.626	16.207	119.833	0.61%			
		M1-503	3BHK	80.458	14.185	94.643	0.48%			
		M1-504	3BHK	98.159	14.239	112.398	0.57%			
7	Sixth Floor	M1-601	3BHK	98.849	14.158	113.007	0.57%			
		M1-602	4BHK	103.626	16.207	119.833	0.61%			
		M1-603	3BHK	80.458	14.185	94.643	0.48%			
		M1-604	3BHK	98.159	14.239	112.398	0.57%			

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Hemant Bhat

Director / Auth. Signatory

8	Seventh Floor	M1-701	3BHK	98.849	14.158	113.007	0.57%
9	Eighth Floor	M1-702	4BHK	103.626	16.207	119.833	0.61%
		M1-703	3BHK	80.458	14.185	94.643	0.48%
		M1-704	3BHK	98.159	14.239	112.398	0.57%
		M1-801	3BHK	98.849	14.158	113.007	0.57%
10	Ninth Floor	M1-802	4BHK	103.626	16.207	119.833	0.61%
		M1-803	3BHK	80.458	14.185	94.643	0.48%
		M1-804	3BHK	98.159	14.239	112.398	0.57%
		M1-901	3BHK	98.849	14.158	113.007	0.57%
11	Tenth Floor	M1-902	4BHK	103.626	16.207	119.833	0.61%
		M1-903	3BHK	80.458	14.185	94.643	0.48%
		M1-904	3BHK	98.159	14.239	112.398	0.57%
		M1-1001	3BHK	98.849	14.158	113.007	0.57%
12	Eleventh Floor	M1-1002	4BHK	103.626	16.207	119.833	0.61%
		M1-1003	3BHK	80.458	14.185	94.643	0.48%
		M1-1004	3BHK	98.159	14.239	112.398	0.57%
		M1-1101	3BHK	98.849	14.158	113.007	0.57%
13	Twelfth Floor	M1-1102	4BHK	103.626	16.207	119.833	0.61%
		M1-1103	3BHK	80.458	14.185	94.643	0.48%
		M1-1104	3BHK	98.159	14.239	112.398	0.57%
		M1-1201	3BHK	98.849	14.158	113.007	0.57%
14	Thirteenth Floor	M1-1202	4BHK	103.626	16.207	119.833	0.61%
		M1-1203	3BHK	80.458	14.185	94.643	0.48%
		M1-1204	3BHK	98.159	14.239	112.398	0.57%
		M1-1301	3BHK	98.849	14.158	113.007	0.57%
15	Fourteenth Floor	M1-1302	4BHK	103.626	16.207	119.833	0.61%
		M1-1303	3BHK	80.458	14.185	94.643	0.48%
		M1-1304	3BHK	98.159	14.239	112.398	0.57%
		M1-1401	3BHK	98.849	14.158	113.007	0.57%
TOTAL =		M1-1402	4BHK	103.626	16.207	119.833	0.61%
		M1-1403	3BHK	80.458	14.185	94.643	0.48%
		M1-1404	3BHK	98.159	14.239	112.398	0.57%
				5335.288	823.046	6598.215	

AS PER RULE

RESIDENTIAL

For H. R. BUILDCON (P) LTD.

Armod Boh

Director / Auth. Signatory

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

Name of Condominium : Exotica Eastern Court Block-M2

Value of Condominium :

Sl. No.	Floor	Identifiable No. of the Apartment	No. of Rooms	COVERED AREA (IN SqM)			Percentage of undivided share in land on the basis of covered area of the apartment	Proportionate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential / Commercial	Value of the Apartment
				UNIT AREA WITH CUP BOARK (FAR)	BALCON Y AREA (NON FAR)	Total				
1	Ground Floor	M2-001	3 BHK	82.52	14.575	97.095	0.49%	AS PER RULE	RESIDENTIAL	
		M2-002	3 BHK	94.674	14.873	109.547	0.56%			
		M2-003	2 BHK	73.991	14.536	88.527	0.45%			
		M2-004	3 BHK	95.81	14.856	110.666	0.56%			
2	First Floor	M2-101	3 BHK	82.52	14.575	97.095	0.49%			
		M2-102	3 BHK	94.674	14.873	109.547	0.56%			
		M2-103	2 BHK	73.991	14.536	88.527	0.45%			
		M2-104	3 BHK	95.81	14.856	110.666	0.56%			
3	Second Floor	M2-201	3 BHK	82.52	14.575	97.095	0.49%			
		M2-202	3 BHK	94.674	14.873	109.547	0.56%			
		M2-203	2 BHK	73.991	14.536	88.527	0.45%			
		M2-204	3 BHK	95.81	14.856	110.666	0.56%			
4	Third Floor	M2-301	3 BHK	82.52	14.575	97.095	0.49%			
		M2-302	3 BHK	94.674	14.873	109.547	0.56%			
		M2-303	2 BHK	73.991	14.536	88.527	0.45%			
		M2-304	3 BHK	95.81	14.856	110.666	0.56%			
5	Fourth Floor	M2-401	3 BHK	82.52	14.575	97.095	0.49%			
		M2-402	3 BHK	94.674	14.873	109.547	0.56%			
		M2-403	2 BHK	73.991	14.536	88.527	0.45%			
		M2-404	3 BHK	95.81	14.856	110.666	0.56%			
6	Fifth Floor	M2-501	3 BHK	82.52	14.575	97.095	0.49%			
		M2-502	3 BHK	94.674	14.873	109.547	0.56%			
		M2-503	2 BHK	73.991	14.536	88.527	0.45%			
		M2-504	3 BHK	95.81	14.856	110.666	0.56%			
7	Sixth Floor	M2-601	3 BHK	82.52	14.575	97.095	0.49%			
		M2-602	3 BHK	94.674	14.873	109.547	0.56%			
		M2-603	2 BHK	73.991	14.536	88.527	0.45%			
		M2-604	3 BHK	95.81	14.856	110.666	0.56%			

For Exotica Housing & Infrastructure Co. Pvt. Ltd.
 (Authorized Signatory)
 Anil Kumar Singh

For H. R. BUILDCON (P) LTD.
 Director / Auth. Signatory
 Hemod Baly

Sl. No.	Floor	Unit No.	Area (sq. ft.)	Rate (₹/sq. ft.)	Total Value (₹)	Area (sq. ft.)	Rate (₹/sq. ft.)	Total Value (₹)	Area (sq. ft.)	Rate (₹/sq. ft.)	Total Value (₹)	Area (sq. ft.)	Rate (₹/sq. ft.)	Total Value (₹)	Area (sq. ft.)	Rate (₹/sq. ft.)	Total Value (₹)	
8	Seventh Floor	M2-703	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-704	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-801	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-802	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-803	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-804	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-901	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-902	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-903	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-904	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-1001	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-1002	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-1003	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-1004	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-1101	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-1102	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-1103	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-1104	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-1201	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-1202	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-1203	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-1204	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-1301	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-1302	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-1303	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-1304	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
		M2-1401	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52	14.575	1202.00	82.52
		M2-1402	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674	14.873	1400.00	94.674
		M2-1403	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991	14.536	1072.00	73.991
		M2-1404	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81	14.856	1414.00	95.81
TOTAL =										4857.93	823.76	6087.53						

AS PER RULE

RESIDENTIAL

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Parmod Bhat

Director / Auth. Signatory

ANNEXURE- 'B'
(Detail of Apartments)

Name of Condominium : Exotica Eastern Court Block-M3

Value of Condominium :

Sl. No.	Floor	Identifiable No. of the Apartment	No. of Rooms	COVERED AREA (IN SqM)			Percentage of undivided share in land on the basis of covered area of the apartment	Proportionate representation for voting purpose in the meeting of the association of apartment owners	Approved use Residential / Commercial	Value of the Apartment
				UNIT AREA WITH CUP BOARD (FAR)	BALCON Y AREA (NON FAR)	Total				
1	Ground Floor	M3-001	3BHK	95.423	14.185	109.608	0.56%	AS PER RULE	RESIDENTIAL	
		M3-002	3BHK	99.007	14.239	113.246	0.58%			
		M3-003	3BHK	103.626	14.158	117.784	0.60%			
		M3-004	4BHK	110.159	16.207	126.366	0.64%			
2	First Floor	M3-101	3BHK	95.423	14.185	109.608	0.56%			
		M3-102	3BHK	99.007	14.239	113.246	0.58%			
		M3-103	3BHK	103.626	14.158	117.784	0.60%			
		M3-104	4BHK	110.159	16.207	126.366	0.64%			
3	Second Floor	M3-201	3BHK	95.423	14.185	109.608	0.56%			
		M3-202	3BHK	99.007	14.239	113.246	0.58%			
		M3-203	3BHK	103.626	14.158	117.784	0.60%			
		M3-204	4BHK	110.159	16.207	126.366	0.64%			
4	Third Floor	M3-301	3BHK	95.423	14.185	109.608	0.56%			
		M3-302	3BHK	99.007	14.239	113.246	0.58%			
		M3-303	3BHK	103.626	14.158	117.784	0.60%			
		M3-304	4BHK	110.159	16.207	126.366	0.64%			
5	Fourth Floor	M3-401	3BHK	95.423	14.185	109.608	0.56%			
		M3-402	3BHK	99.007	14.239	113.246	0.58%			
		M3-403	3BHK	103.626	14.158	117.784	0.60%			
		M3-404	4BHK	110.159	16.207	126.366	0.64%			
6	Fifth Floor	M3-501	3BHK	95.423	14.185	109.608	0.56%			
		M3-502	3BHK	99.007	14.239	113.246	0.58%			
		M3-503	3BHK	103.626	14.158	117.784	0.60%			
		M3-504	4BHK	110.159	16.207	126.366	0.64%			
7	Sixth Floor	M3-601	3BHK	95.423	14.185	109.608	0.56%			
		M3-602	3BHK	99.007	14.239	113.246	0.58%			
		M3-603	3BHK	103.626	14.158	117.784	0.60%			
		M3-604	4BHK	110.159	16.207	126.366	0.64%			

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Pranmod Bely

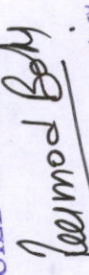
Director / Auth. Signatory

8	Seventh Floor	M3-701	3BHK	95.423	14.185	109.608	0.56%
		M3-702	3BHK	99.007	14.239	113.246	0.58%
		M3-703	3BHK	103.626	14.158	117.784	0.60%
		M3-704	4BHK	110.159	16.207	126.366	0.64%
		M3-801	3BHK	95.423	14.185	109.608	0.56%
9	Eighth Floor	M3-802	3BHK	99.007	14.239	113.246	0.58%
		M3-803	3BHK	103.626	14.158	117.784	0.60%
		M3-804	4BHK	110.159	16.207	126.366	0.64%
		M3-901	3BHK	95.423	14.185	109.608	0.56%
10	Ninth Floor	M3-902	3BHK	99.007	14.239	113.246	0.58%
		M3-903	3BHK	103.626	14.158	117.784	0.60%
		M3-904	4BHK	110.159	16.207	126.366	0.64%
		M3-1001	3BHK	95.423	14.185	109.608	0.56%
11	Tenth Floor	M3-1002	3BHK	99.007	14.239	113.246	0.58%
		M3-1003	3BHK	103.626	14.158	117.784	0.60%
		M3-1004	4BHK	110.159	16.207	126.366	0.64%
		M3-1101	3BHK	95.423	14.185	109.608	0.56%
12	Eleventh Floor	M3-1102	3BHK	99.007	14.239	113.246	0.58%
		M3-1103	3BHK	103.626	14.158	117.784	0.60%
		M3-1104	4BHK	110.159	16.207	126.366	0.64%
		M3-1201	3BHK	95.423	14.185	109.608	0.56%
13	Twelfth Floor	M3-1202	3BHK	99.007	14.239	113.246	0.58%
		M3-1203	3BHK	103.626	14.158	117.784	0.60%
		M3-1204	4BHK	110.159	16.207	126.366	0.64%
		M3-1301	3BHK	95.423	14.185	109.608	0.56%
14	Thirteenth Floor	M3-1302	3BHK	99.007	14.239	113.246	0.58%
		M3-1303	3BHK	103.626	14.158	117.784	0.60%
		M3-1304	4BHK	110.159	16.207	126.366	0.64%
		M3-1401	3BHK	95.423	14.185	109.608	0.56%
15	Fourteenth Floor	M3-1402	3BHK	99.007	14.239	113.246	0.58%
		M3-1403	3BHK	103.626	14.158	117.784	0.60%
		M3-1404	4BHK	110.159	16.207	126.366	0.64%
TOTAL =				5715.01	823.05	7005.06	

RESIDENTIAL

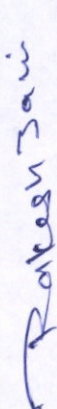
AS PER RULE

For H. R. BUILDCON (P) LTD.



Director / Auth. Signatory

For Exolca Housing & Infrastructure Co. Pvt. Ltd.



(Auth. Signatory/Director)

TOTAL COVERED AREA OF ALL APARTMENTS (INCL. BALCONY)	
BLOCK-M1	6598.215 Sqm
BLOCK-M2	6087.53 Sqm
BLOCK-M3	7005.06 Sqm
TOTAL	19690.8 Sqm

For Eshca Housing & Infrastructure Co. Pvt. Ltd.

Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeelmod Bhat

Director / Auth. Signatory

Detail of Total Covered Area

S. No.	DESCRIPTION	BLK M1	BLK M2	BLK M3	TOTAL AREAS OF ALL BLK (IN SqM)
1	CORE AREA as corridor,lobbies and main S/Case	459.956	549.584	459.956	1469.496
2	GROUND CORE	44.325	48.091	44.325	136.741
3	SHAFT AREA	63.375	64.950	63.375	191.700
4	FIRE S/CASE	232.650	190.050	232.650	655.350
5	MUMTY / MACHINE ROOM	68.690	68.760	68.690	206.140
6	EXTERNAL SHAFT	100.170	101.100	107.325	308.595
7	O H TANK	29.690	0.000	29.690	59.380
8	U G Tank				139.440
9	Pump Room				57.790
10	Guard Room				13.100
11	Architectural Projections				3.375
12	Basement area				4469.000
TOTAL Covered Area =					7710.107

For Exotica Housing & Infrastructure Co. Pvt. Ltd.

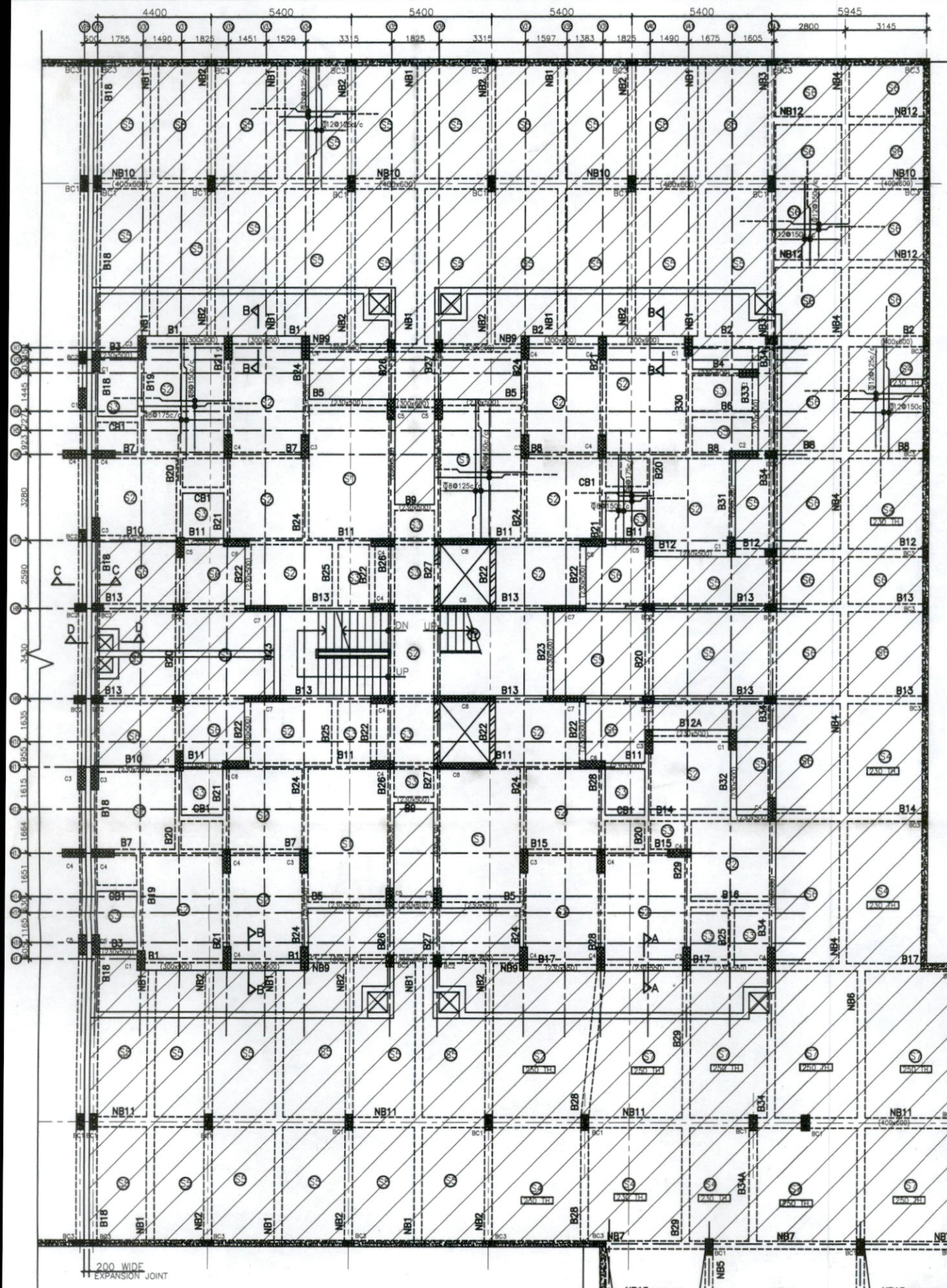
Rakesh Jain

(Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.

Jeemod Bhat

Director / Auth. Signatory



- NOTES:-**
1. FOR GENERAL NOTES REFER DRG. NO.
 2. GRADE OF MIX FOR ALL BEAMS AND SLABS IS M25
 3. REINF. ALONG SHORT SPAN SHALL BE IN BOTTOM LAYER OF SLABS
 4. DISTRIBUTION STEEL SHALL BE 8@230 WHEREVER REQD. BUT NOT SHOWN
 5. FOR DIFFERENT THICKNESS OF ADJACENT SLABS, TOP OF SLABS SHALL BE KEPT SAME
 6. CLEAR COVER TO ALL REINF. SHALL BE AS FOLLOWS:-
 I) BEAMS=25 (II) SLABS=20
 III) END COVER=25 (IN SLAB)
 7. 3-12# EXTRA BARS SHALL BE PROVIDED AT BOTTOM BELOW 115THK. BRICK WALL TO DIRECTLY REST ON SLABS
 8. LAPS SHALL BE 40d AND AVOIDED AT FOLLOWING LOCATION IN REINF. IN BEAMS:
 I) TOP BARS 0.30L FROM SUPPORT
 II) BOTTOM BARS MIDDLE THIRD
 9. TOP BARS SHOWN THUS
 10. BOTTOM BARS SHOWN THUS
 11. SUNK SLAB SHOWN THUS
 12. DIMENSIONS OF BALCONY /CHHAJA SHALL BE PROVIDED AS/ARCH. DRG.
 13. ALL BALCONY SLABS SHALL BE 25MM THK FROM GENERAL SLAB LEVEL.

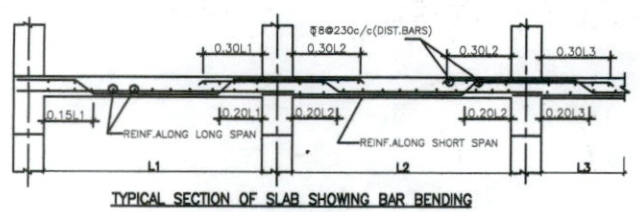
For Exotica Housing & Infrastructure Co. Pvt.
Rakesh Jain
 (Auth. Signatory/Director)

For H. R. BUILDCON (P) LTD.
Jeemad Bally
 Director / Auth. Signatory

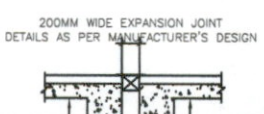
ALL SLABS 125 THK. UNLESS NOTED OTHERWISE IN TOWER AREA
 ALL SLABS 200 THK. UNLESS NOTED OTHERWISE IN NON-TOWER AREA
 ALL BEAMS 230x500 UNLESS NOTED OTHERWISE IN TOWER AREA
 ALL BEAMS 300x600 UNLESS NOTED OTHERWISE IN NON-TOWER AREA

FOR BEAM REINFORCEMENT DETAILS REFER DRG. NO. ST-P2-03 (BASEMENT ROOF BEAM DETAILS)

FOR PROPER OPENING OF ELECTRICAL, FIRE, L.V. SHAFT & PLUMBING CUT-OUTS REFER ELECTRICAL AND PLUMBING DRAWING.



TYPICAL SECTION OF SLAB SHOWING BAR BENDING

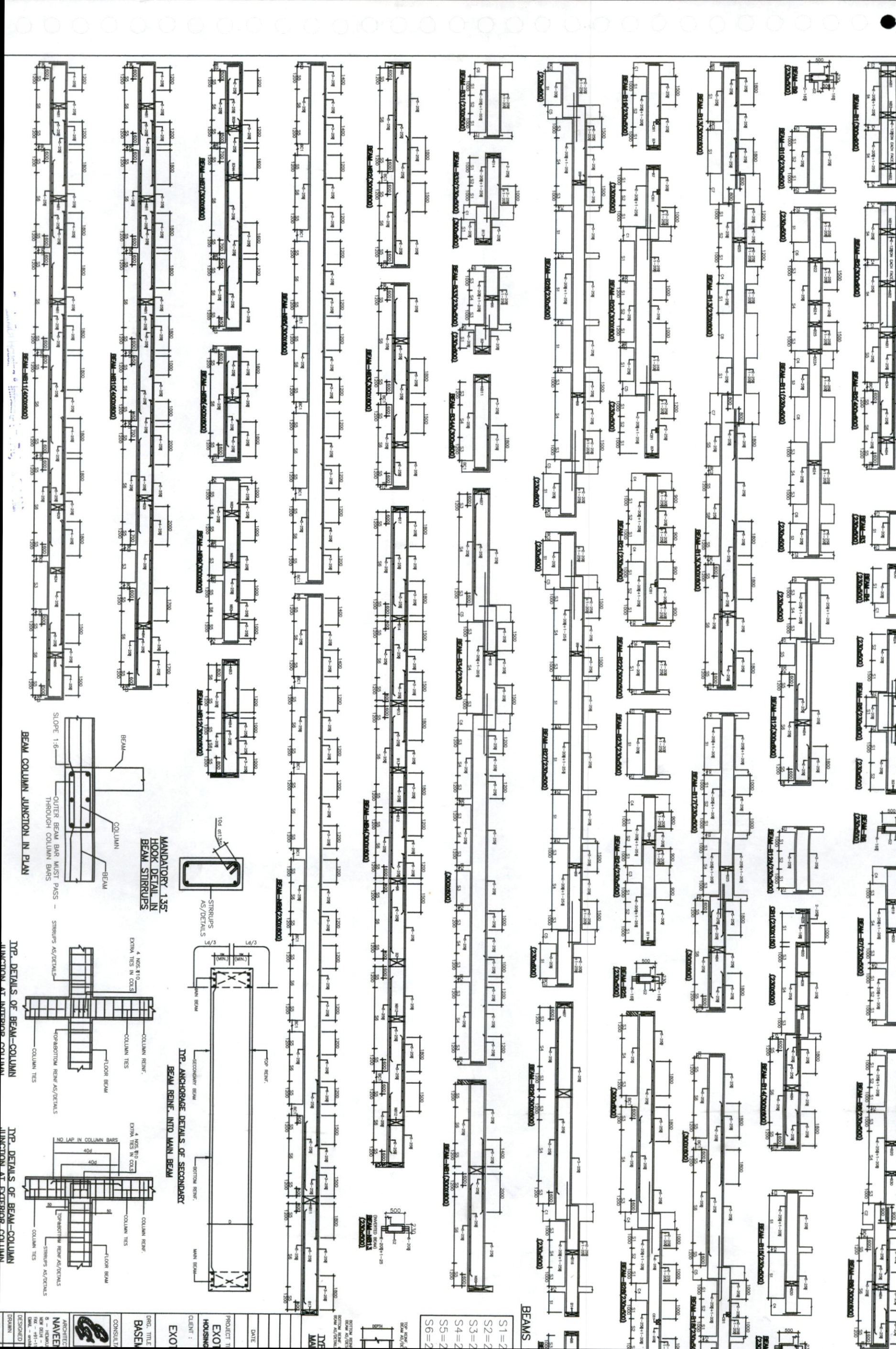


KEY PLAN

DATE	REV.	REVISION DETAILS

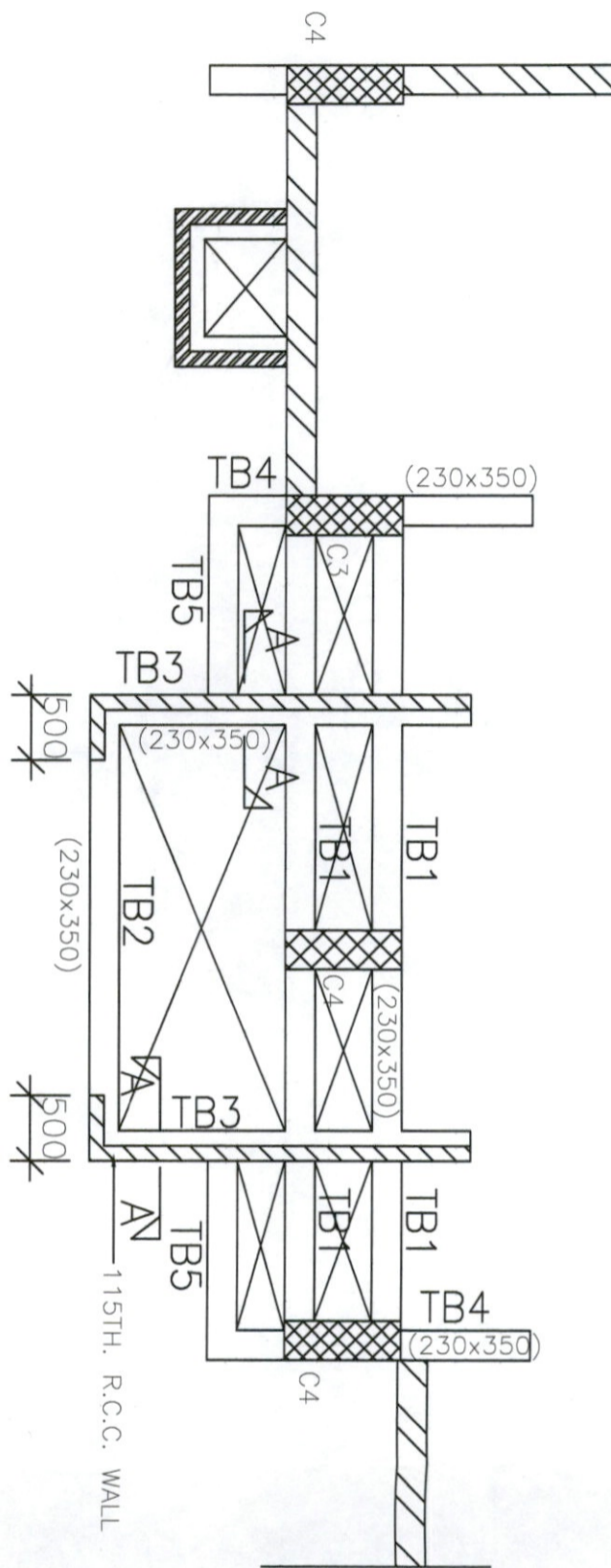
PROJECT TITLE
EXOTICA EASTERN COURT
HOUSING PROJECT AT CROSSING

CLIENT :

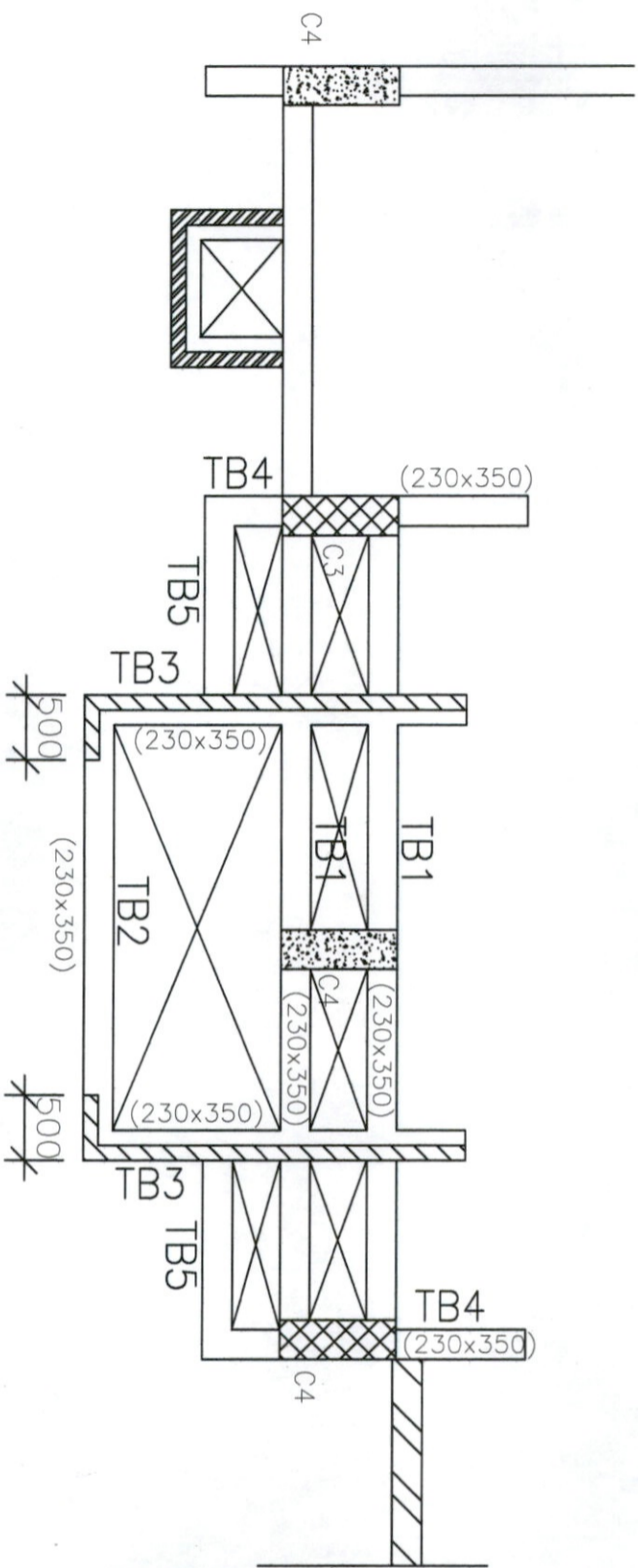


- BEAMS
- S1=2
 - S2=2
 - S3=2
 - S4=2
 - S5=2
 - S6=2

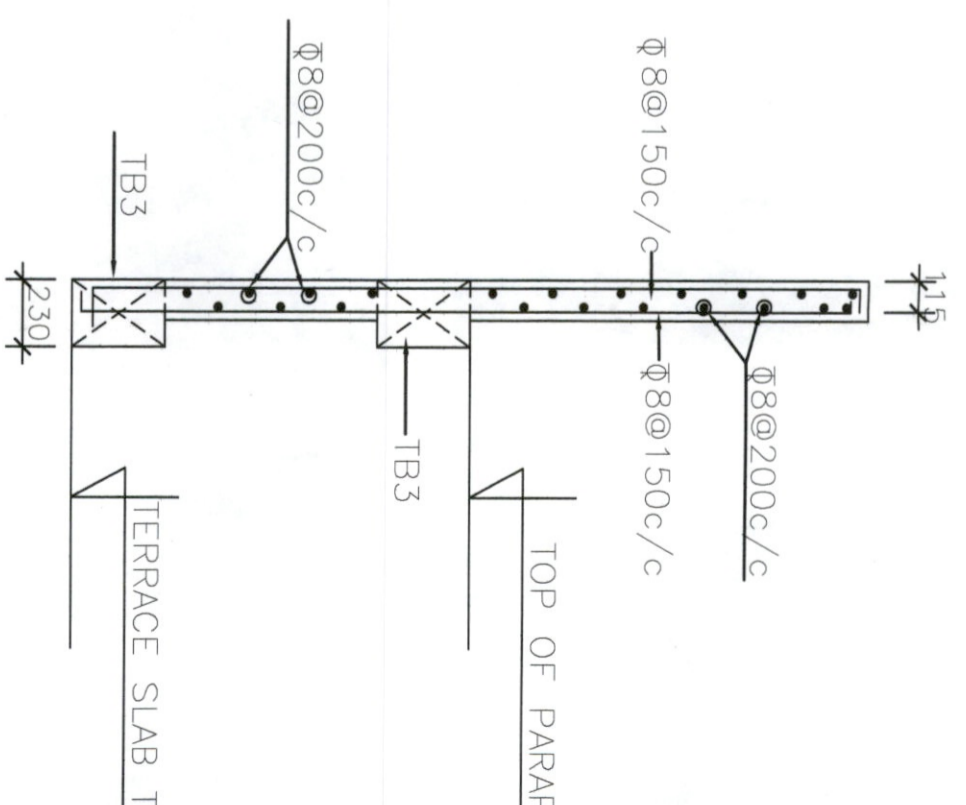
DATE: _____
 PROJECT: EXOT HOUSEING
 CLIENT: _____
 ARCHITECT: _____
 DRAWN: _____



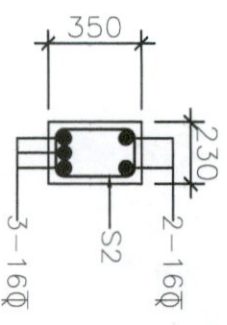
PART TERRACE PLAN



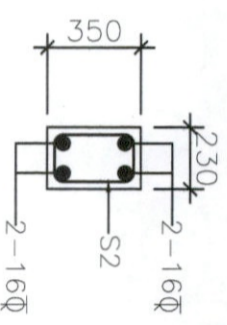
PART PLAN (TOP OF PARAPET)



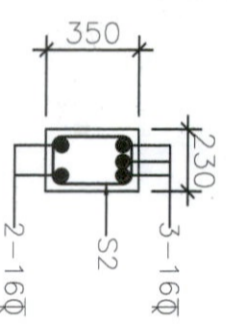
SECTION A-A



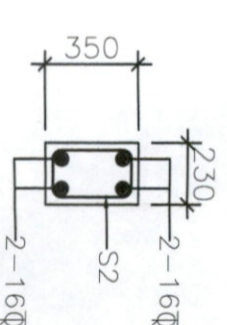
BEAM-TB1 (230x350)



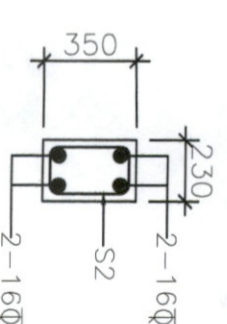
BEAM-TB2 (230x350)



BEAM-TB3 (230x350)

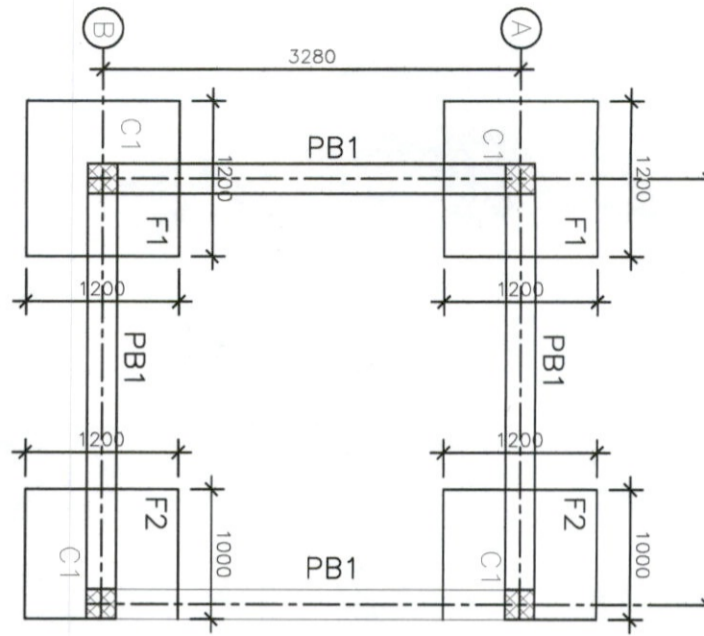


BEAM-TB4 (230x350)

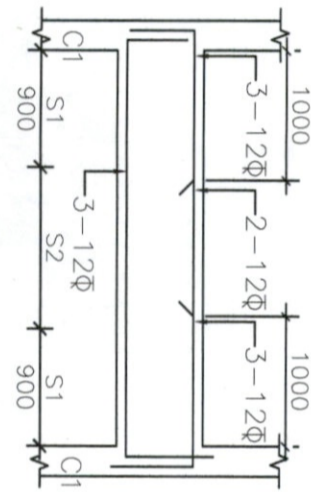


BEAM-TB5 (230x350)

PROJECT TITLE	EXOTICA HOUSING PROJECT
CLIENT :	EXOTICA
CONSULTANTS	EN
DRG. TITLE	R.C.C. DETAIL AT TERRACE
ARCHITECTS :	NAVEEN VJ
B - HEMKUNT COLON	NEW DELHI - 110048, PH
EMAIL - arch@naveenjv.com	
DESIGNED	P.K.
DRAWN	R.G
CHECKED	M.L.

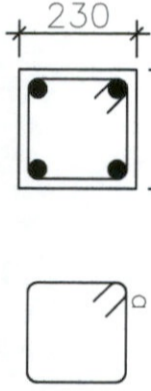


FOUNDATION PLAN



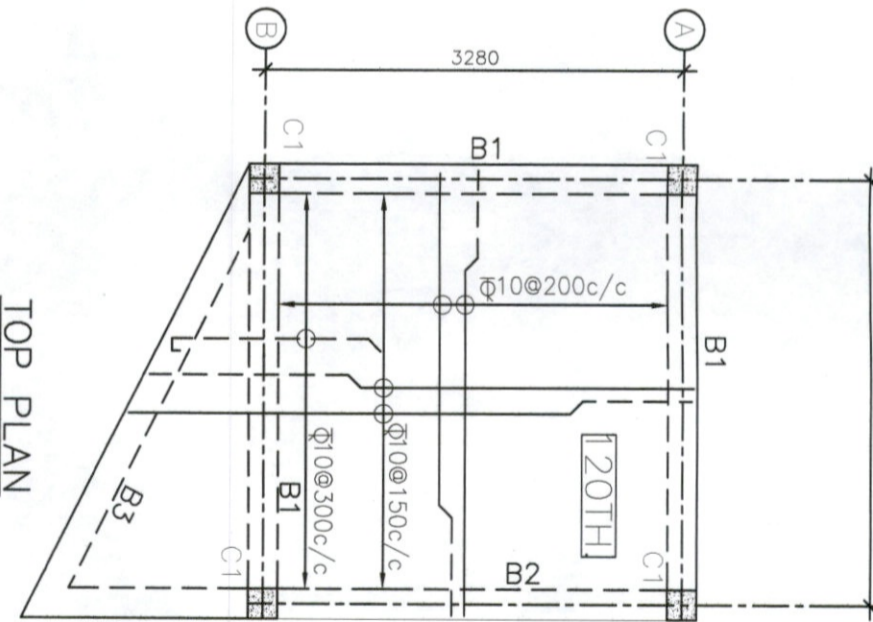
PLINTH BEAM-PB1(230x450)

TIES = 8 Φ @ 200C/C (o)
 ● 4-16Φ

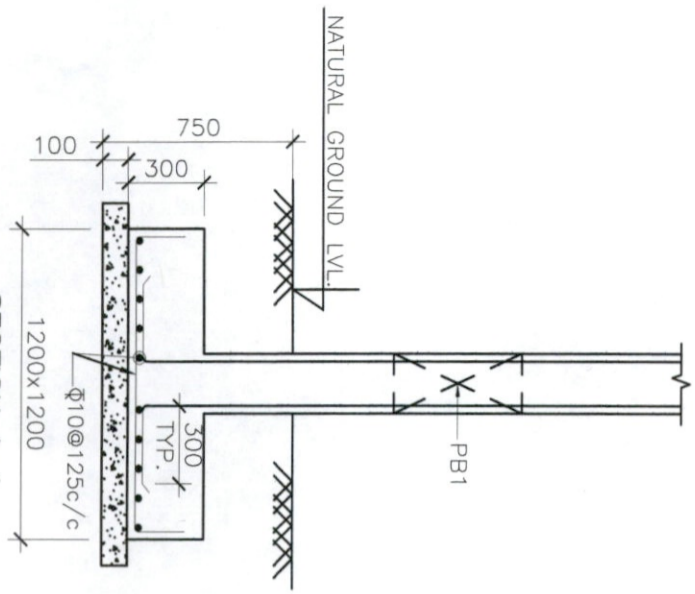


C1(230x230)

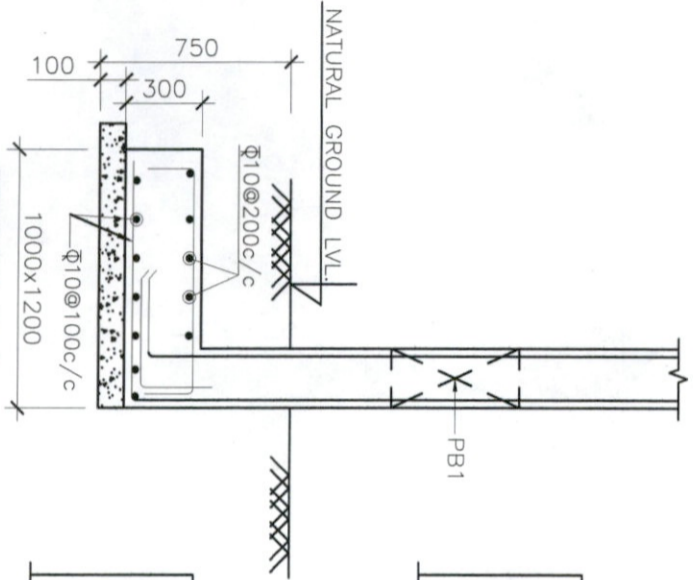
SECTION-B-B



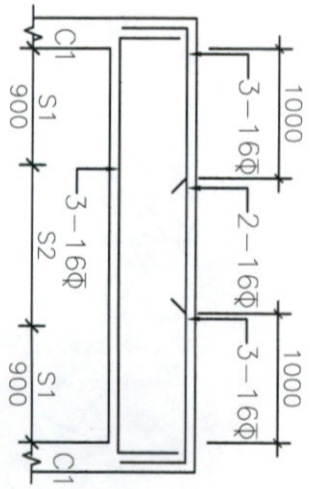
TOP PLAN



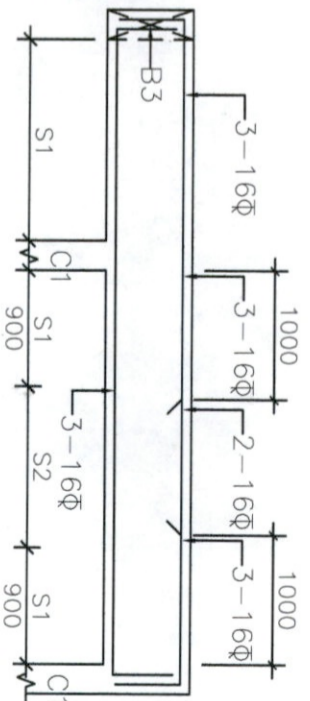
SECTION 1-1
FOR FOOTING -F1



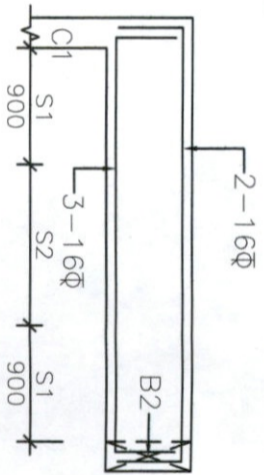
SECTION 2-2
FOR FOOTING -F2



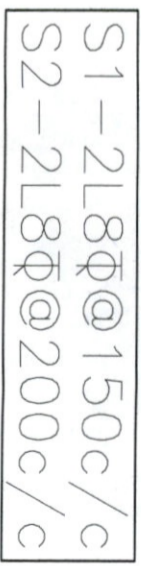
BEAM-B1(230x450)



BEAM-B2(230x450)



BEAM-B3(230x450)



2. DO NOT SCALE THE DRAWING
3. READ THIS DRAWING WITH RELEVANT ARCHITECTURAL DRAWINGS
4. LEAN CONCRETE BEAMS SHALL BE 1:4:8
5. GRADE OF MIX FOR BE M25
6. REINFORCEMENT SHALL BE AS FOLLOWS -
7. CLEAR COVER TO THE REINFORCEMENT SHALL BE AS FOLLOWS -
8. LAP LENGTH/BOND LENGTH SHALL BE AS FOLLOWS MIX OF

CONSULTANT: ENGINEER CONSULTANTS

ARCHITECTS: NAVEEN ENGINEERS

PLOT NO. GH-1A, NOIDA

M/S EXOTICA HOUSING INFRASTRUCTURE

DRG. TITLE: GUARD ROOM

DESIGNED: L.K.

DRAWN: JGD

REVISIONS	
REV.	REVISION DETAILS

PROJECT TITLE
 EXOTICA EASTERN COURT
 HOUSING PROJECT AT CROSSING REPUBLIK
 CLIENT :
 EXOTICA DEVELOPERS

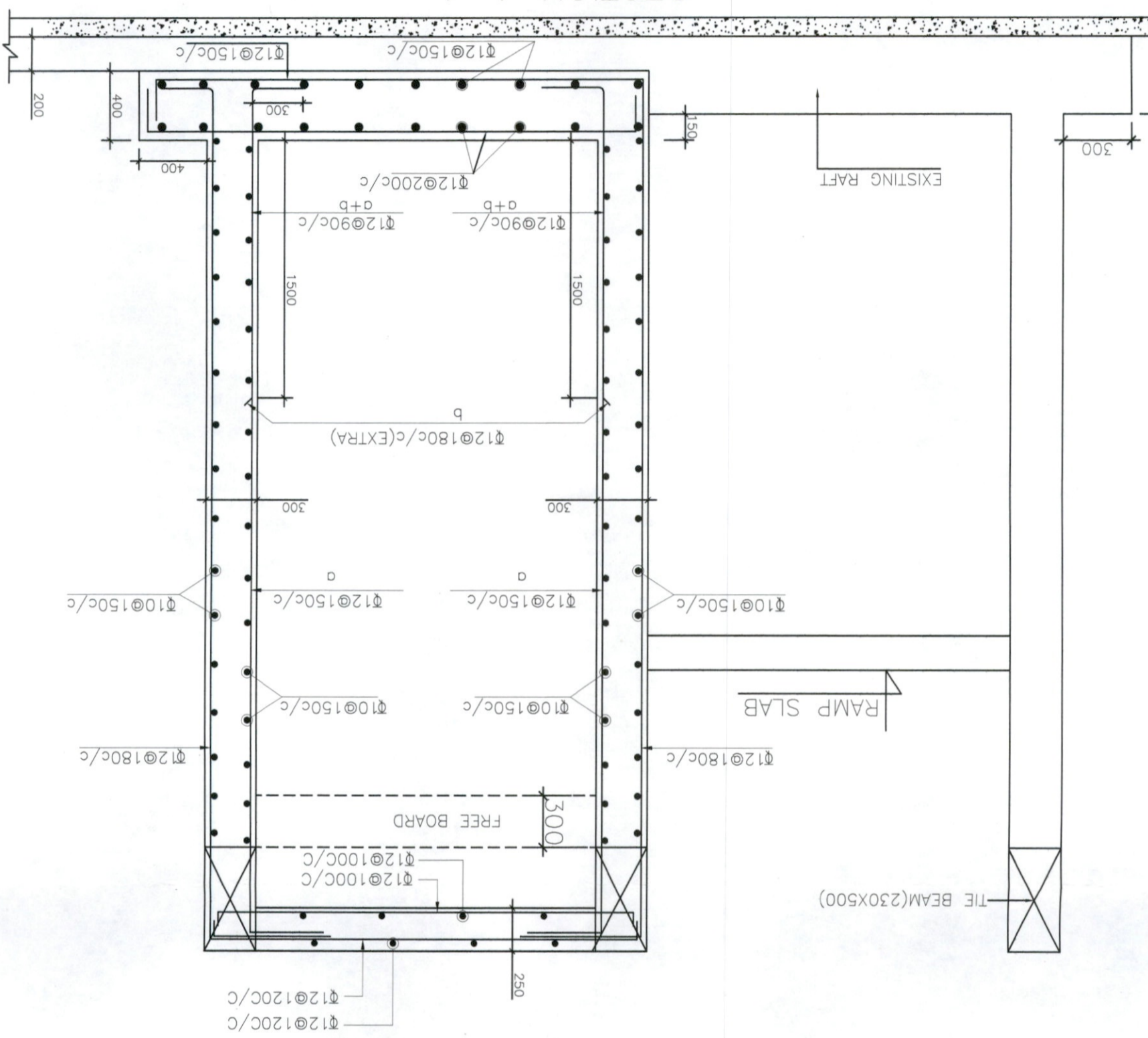
DRG. TITLE
 UNDER GROUND FLUSHING
 WATER TANK DETAIL

CONSULTANTS
ENGINEERING SOLUTIONS
 CONSULTING ENGINEERS
 5-205/CHETAK COMPLEX, 1ST, POCKET B&E,
 DSWD GREEN, DELHI-110085, PH: 22122424, 22122321

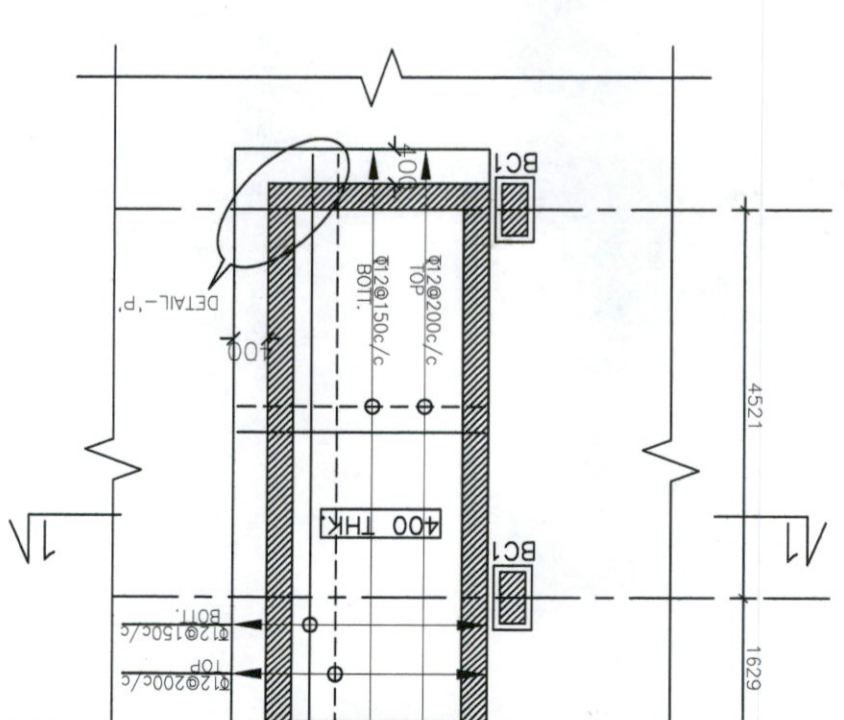
ARCHITECTS :
NAVEEN VI
 8 - HEKAVANT COLONY, GREATER KALASH - 1,
 NEW DELHI - 110048, PH: +91-11-4163030, 4163061
 EMAIL: arch@naveenvi.com

DATE	20.02.12
SCALE	N.T.S.
DESIGNED	P.K.
DRG. NO.	ST-03A

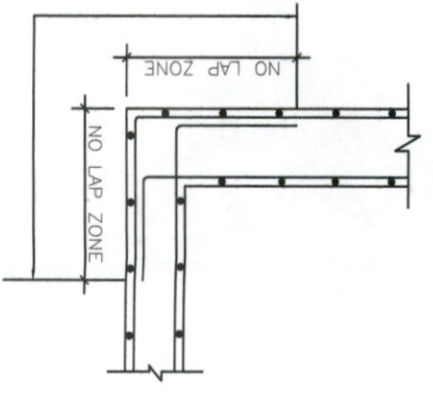
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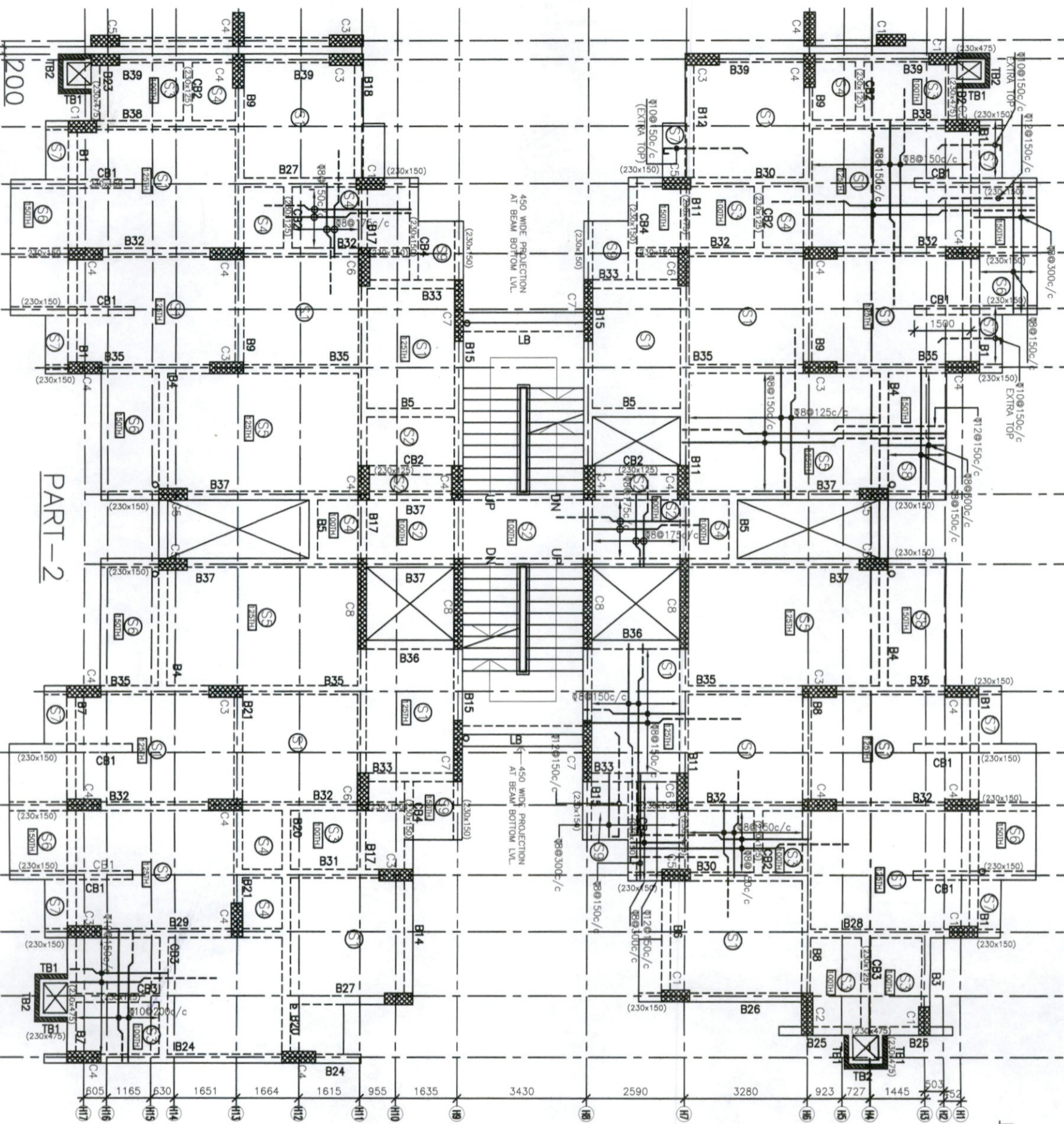
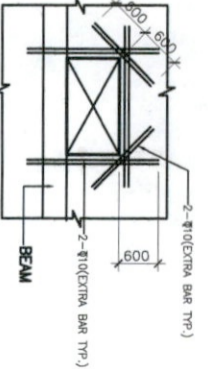
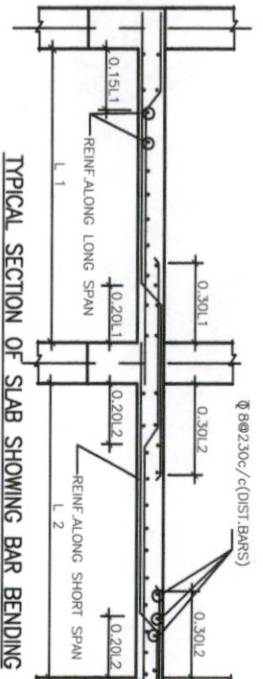
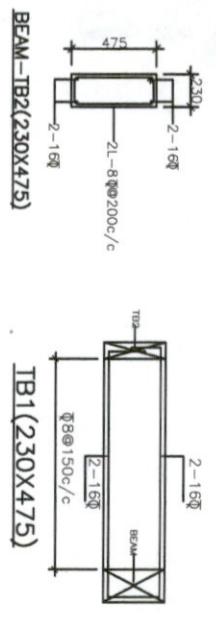
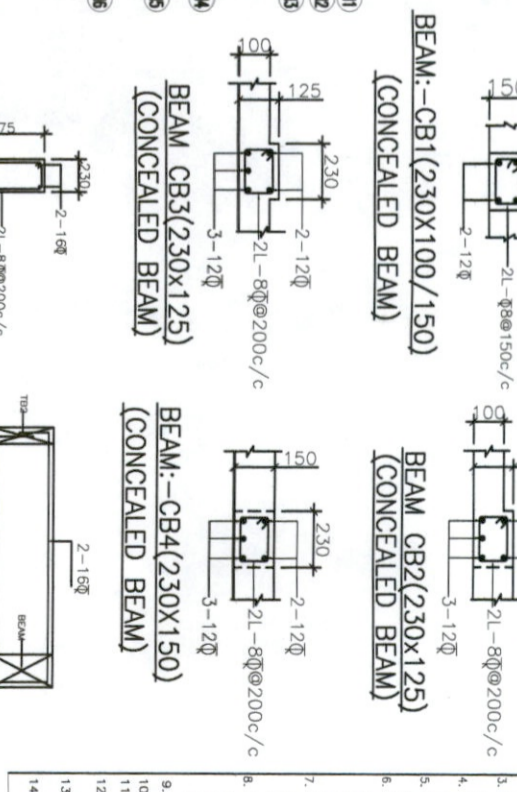


FOUNDATION PLAN



TYP. DETAIL ('P')

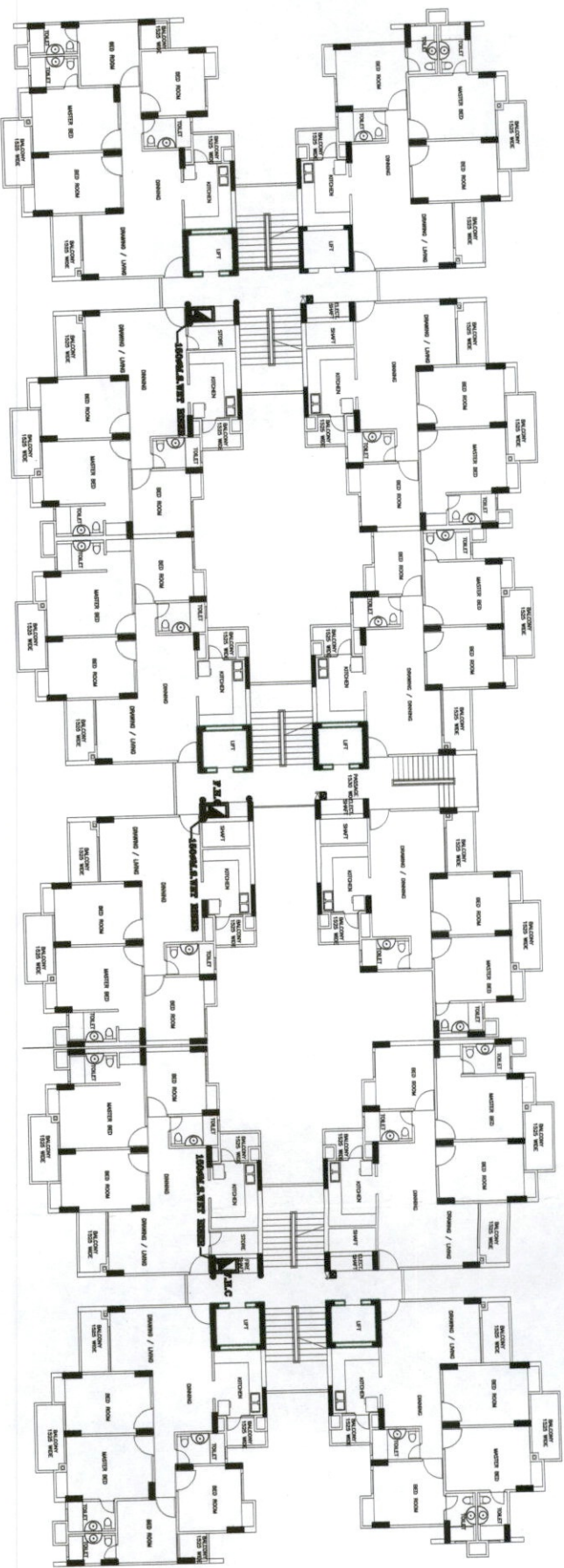




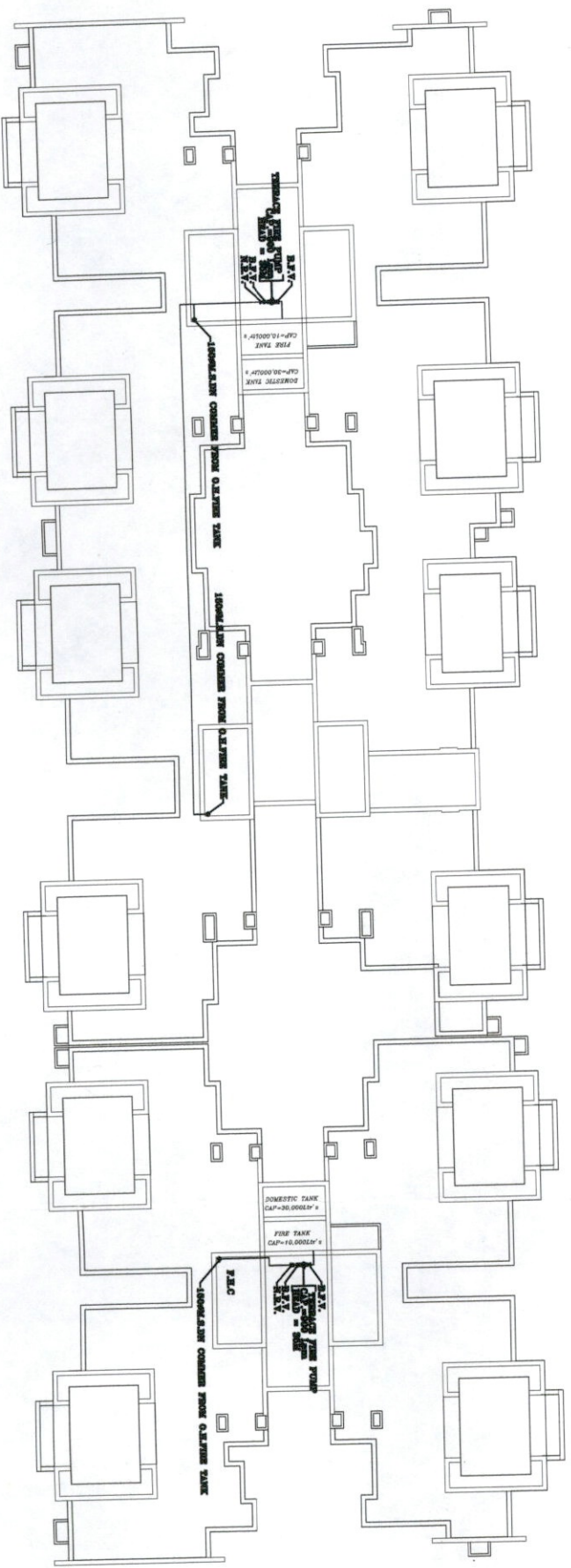
ALL SLABS ARE 125mm THK. UNLESS NOTED OTHERWISE
ALL BEAMS ARE (230X500) UNLESS NOTED OTHERWISE

NO.	REV.	DATE	BY	CHKD.	APP.

PROJECT: _____
 EX. NO.: _____
 CLIENT: _____
 DESIGN: _____
 SCALE: _____



1st FLOOR TO 14th FLOOR PLAN



TERRACE PLAN

1-1	NON RESIN WAVE
1-2	FR EDGE WAVE
1-3	FR FIRE COBERT WITH LAMPS
1-4	FR FIRE COBERT WITH LAMPS
1-5	FR FIRE COBERT WITH LAMPS
1-6	FR FIRE COBERT WITH LAMPS
1-7	FR FIRE COBERT WITH LAMPS
1-8	FR FIRE COBERT WITH LAMPS
1-9	FR FIRE COBERT WITH LAMPS
1-10	FR FIRE COBERT WITH LAMPS
1-11	FR FIRE COBERT WITH LAMPS
1-12	FR FIRE COBERT WITH LAMPS
1-13	FR FIRE COBERT WITH LAMPS
1-14	FR FIRE COBERT WITH LAMPS
1-15	FR FIRE COBERT WITH LAMPS
1-16	FR FIRE COBERT WITH LAMPS
1-17	FR FIRE COBERT WITH LAMPS
1-18	FR FIRE COBERT WITH LAMPS
1-19	FR FIRE COBERT WITH LAMPS
1-20	FR FIRE COBERT WITH LAMPS
1-21	FR FIRE COBERT WITH LAMPS
1-22	FR FIRE COBERT WITH LAMPS
1-23	FR FIRE COBERT WITH LAMPS
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1-40	FR FIRE COBERT WITH LAMPS
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1-70	FR FIRE COBERT WITH LAMPS
1-71	FR FIRE COBERT WITH LAMPS
1-72	FR FIRE COBERT WITH LAMPS
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1-78	FR FIRE COBERT WITH LAMPS
1-79	FR FIRE COBERT WITH LAMPS
1-80	FR FIRE COBERT WITH LAMPS
1-81	FR FIRE COBERT WITH LAMPS
1-82	FR FIRE COBERT WITH LAMPS
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1-85	FR FIRE COBERT WITH LAMPS
1-86	FR FIRE COBERT WITH LAMPS
1-87	FR FIRE COBERT WITH LAMPS
1-88	FR FIRE COBERT WITH LAMPS
1-89	FR FIRE COBERT WITH LAMPS
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1-91	FR FIRE COBERT WITH LAMPS
1-92	FR FIRE COBERT WITH LAMPS
1-93	FR FIRE COBERT WITH LAMPS
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1-96	FR FIRE COBERT WITH LAMPS
1-97	FR FIRE COBERT WITH LAMPS
1-98	FR FIRE COBERT WITH LAMPS
1-99	FR FIRE COBERT WITH LAMPS
1-100	FR FIRE COBERT WITH LAMPS

FIRE FIGHTING NOTES

- NOTE :- AS PER NATIONAL BUILDING CODE PART-4, FIRE AND LIFE SAFETY SYSTEMS TYPE-OV BUILDING APARTMENT(A-4) ABOVE SLM IN BE EXTERIORING 40M IN HEIGHTS
- 1. FIRE EXTINGUISHER
- A.B.C TYPE
- 2. HOSE REEL
- 3. WET RISER
- 4. MANUALLY OPERATED EXTERIOR FIRE ALARM
- 5. AUTOMATIC SPRINKLER SYSTEM RISERS
- 6. OVER HEAD FIRE TANK CAP= 10 TANK CAP.= 70,000Ltr
- 7. UNDERGROUND STATIC WATER STR
- 8. P-1. MAIN FIRE PUMP
CAP=10000pm
HEAD=95M
- P-2. KICKY PUMP
CAP=1000pm
HEAD=95M
- P-3. DIESEL PUMP
CAP=10000pm
HEAD=95M

PROJECT TITLE :
EXOTICA EASTERN
HOUSING PROJECT AT CROSS

CLIENT :
EXOTICA DEVEL

APPROVED BY :-

ARCHITECTS :
NAVEEN VIJ
9 HAZROOY COLONY,
NEW DELHI - 110048,
PH. - +91-11-41690890,
FAX - +91-11-41690890,
EMAIL - navneenvij@gmail.com

DRAWING TITLE :
FIRE FIGHTING
TYPICAL & TE

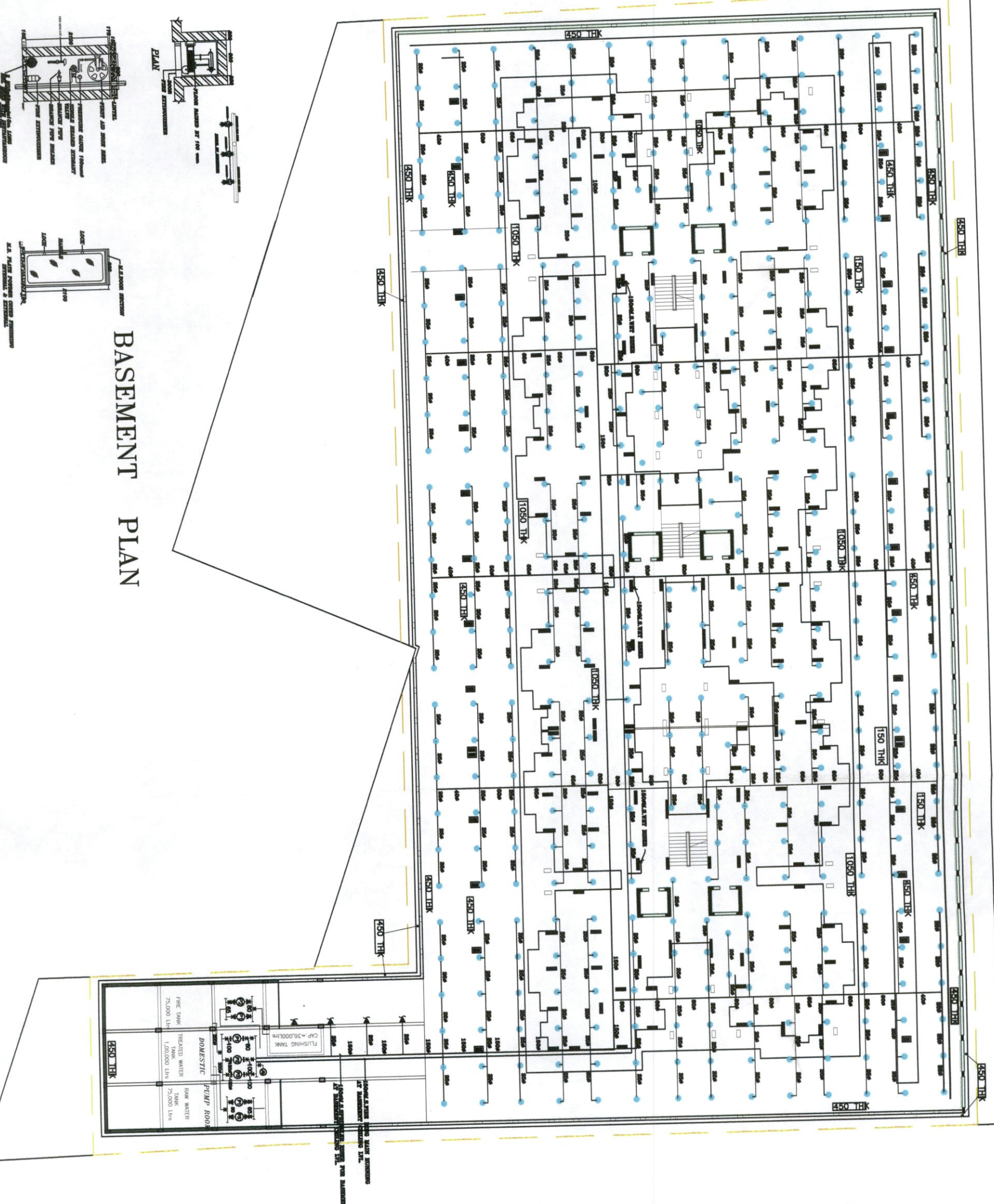
CONSULTANTS :

PDS CONSULTING ENGINEERS
10-11, Anandapada Apartment,
New N.C.E.R.T., Alakh,
Ph.No. 98511441, 98101,
Email: +91-98511441, 98101

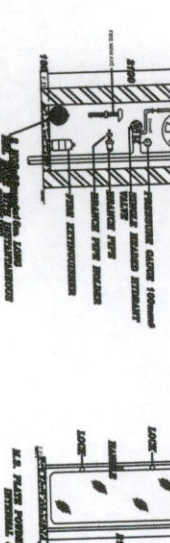
FILE NAME:
EXOTICA EASTERN COURT,

DATE : -
80-01-2012

DRAWN BY : M.K.S
CHECKED BY : I



BASEMENT PLAN



SYMBOL	DESCRIPTION
	FIRE VALVE
	NON FIRE VALVE
	FIRE TANK
	DOMESTIC WATER TANK
	FIRE EXTINGUISHER
	FIRE ALARM BELL
	FIRE ALARM HORN
	FIRE ALARM CONTROL PANEL
	FIRE ALARM CALL BOX
	FIRE ALARM MANUAL CALL POINT
	FIRE ALARM RESET BUTTON
	FIRE ALARM TEST BUTTON
	FIRE ALARM TROUBLE SIGNAL
	FIRE ALARM POWER SUPPLY
	FIRE ALARM BATTERY
	FIRE ALARM CONTROL UNIT
	FIRE ALARM CONTROL PANEL
	FIRE ALARM CALL BOX
	FIRE ALARM MANUAL CALL POINT
	FIRE ALARM RESET BUTTON
	FIRE ALARM TEST BUTTON
	FIRE ALARM TROUBLE SIGNAL
	FIRE ALARM POWER SUPPLY
	FIRE ALARM BATTERY
	FIRE ALARM CONTROL UNIT

FIRE FIGHTING NOTES
 NOTE :- AS PER NATIONAL BUILDING CODE PART-4, FIRE AND LIFE SAFETY SERVICES TYPE-OZ BUILDING APARTMENTS(A-4) ABOVE SNA IN BE EXCEEDING 40M IN HEIGHTS
 1. FIRE EXTINGUISHER
 A.B.C TYPE
 2. FIRE ALARM
 3. FIRE HORN
 4. MANUALLY OPERATED ELECTRIC FIRE ALARM
 5. AUTOMATIC SPRINKLER SYSTEM BASEMENT
 6. OTHER HEAD FIRE TANK CAP = 10
 7. UNDERGROUND STATIC WATER TANK CAP = 75,000Ltr
 8. P-1. MAIN FIRE PUMP
 CAP = 10000Ltr
 HEAD = 95M
 P-2. JOCKEY PUMP
 CAP = 1000Ltr
 HEAD = 95M
 P-3. DRESSER PUMP
 CAP = 1000Ltr
 HEAD = 95M

PROJECT TITLE :
 EXOTICA EASTERN HOUSING PROJECT AT CROSS EXOTICA DEVEL

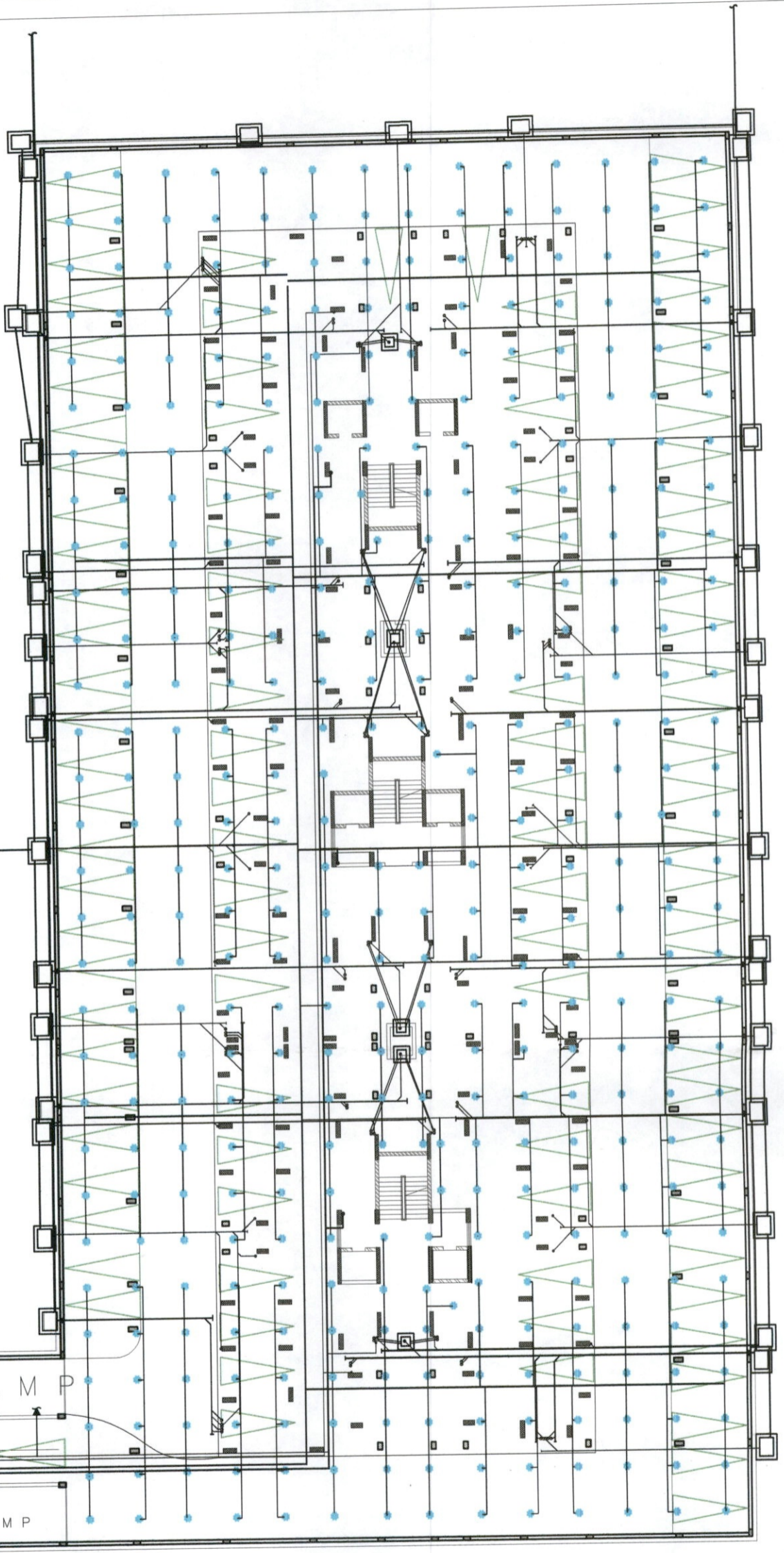
CLIENT :
 NAVEN VJ
 B - HERKUNT COLONY,
 GREATER KALAMBE,
 NEW BELUR - 560084,
 BANGALORE
 TEL - +91-11-41000880,
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 EMAIL - orobtech@naven.com

APPROVED BY :-
 ARCHITECTS :
 PDS CONSULTING ENGINEERS
 10-1, Anandapada Apartment,
 Near "K.C.E.R.T." Ashok
 Road, Bangalore-560114, 560102
 Phone: +91-80-46430000
 Email: +91-80-46430000

DRAWING TITLE :
 FIRE FIGHTING BASEMENT PLAN

CONSULTANTS :
 PDS CONSULTING ENGINEERS
 10-1, Anandapada Apartment,
 Near "K.C.E.R.T." Ashok
 Road, Bangalore-560114, 560102
 Phone: +91-80-46430000
 Email: +91-80-46430000

FILE NAME :
 EXOTICA EASTERN COURT,
 DATE :-
 30-01-2012
 SCALE :-
 DRAWN :-
 M.K.S



BASEMENT CEILING COORDINATION LAYOUT

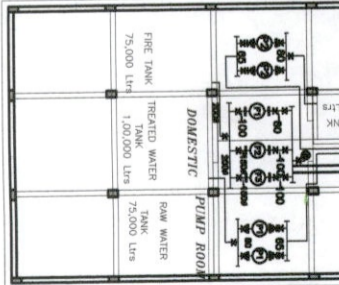
NOTES

1. ALL PIPE HANGERS ARE IN ACCORDANCE WITH ALL RELEVANT STANDARDS.
2. ALL PIPE HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH ALL RELEVANT STANDARDS.
3. ALL PIPE HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH ALL RELEVANT STANDARDS.
4. SOIL, WASTE & VENT PIPE, ROUGH, WASTE & VENT PIPE SHALL BE CALLED OUT IN VENT PIPE AND FITTINGS TYPE-B CONFORMANCE TO BS5512 PART 1, SUPPLEMENT 1.
5. ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE LAD TO A SLOPE NOT FLATTER THAN 1:50 AND NOT STEEPER THAN 1:10 UNLESS SPECIFIED OTHERWISE.
6. WATER SUPPLY PIPE FROM WATER SUPPLY PIPE SHALL BE CALLED OUT BY C/PVC (SIB-11) CONFORMANCE TO ASH STANDARDS. ALL PIPE FITTINGS SHALL BE OF C/PVC OF CLASS SAME AS THE PIPE.
7. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
8. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
9. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
10. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
11. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
12. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
13. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.
14. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE. ALL WATER SUPPLY PIPES IN WALLS SHALL BE AT SIGHTLINE LEVEL UNLESS SPECIFIED OTHERWISE.

DETAILS OF SANITARY FIXTURES TO BE INSTALLED

NO.	DESCRIPTION	QTY	REMARKS
1	W.C.	1	IN TOILET ROOM
2	W.C.	1	IN TOILET ROOM
3	W.C.	1	IN TOILET ROOM
4	W.C.	1	IN TOILET ROOM
5	W.C.	1	IN TOILET ROOM
6	W.C.	1	IN TOILET ROOM
7	W.C.	1	IN TOILET ROOM
8	W.C.	1	IN TOILET ROOM
9	W.C.	1	IN TOILET ROOM
10	W.C.	1	IN TOILET ROOM
11	W.C.	1	IN TOILET ROOM
12	W.C.	1	IN TOILET ROOM
13	W.C.	1	IN TOILET ROOM
14	W.C.	1	IN TOILET ROOM

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



EXOTICA EAST HOUSING PROJECT AT EXOTICA DEV

PROJECT TITLE: EXOTICA EAST HOUSING PROJECT AT EXOTICA DEV

CLIENT: EXOTICA DEV

ARCHITECTS: NAVDEEN VILAS, GREATER KOLKATA DEVELOPMENT CORPORATION, EXOTICA EASTERN COOPERATIVE HOUSING SOCIETY

CONSULTANTS: PPS CONSULTANTS

DATE: 30-01-2012

DRAWING TITLE: PLUMBING BASEMENT COORDINATION

SCALE: AS SHOWN

APPROVED BY: M.K.S.

1. 110mm P.V.C. S

2. 110mm P.V.C. W

3. 110mm P.V.C. R

4. 75mm P.V.C. A.S.

5. C.P.V.C. S (Ground To)

6. C.P.V.C. S (15th To 7)

7. C.P.V.C. S (fourteen floor)

8. C.P.V.C. S (flushing)

9. 40mm P.V.C. M.A.

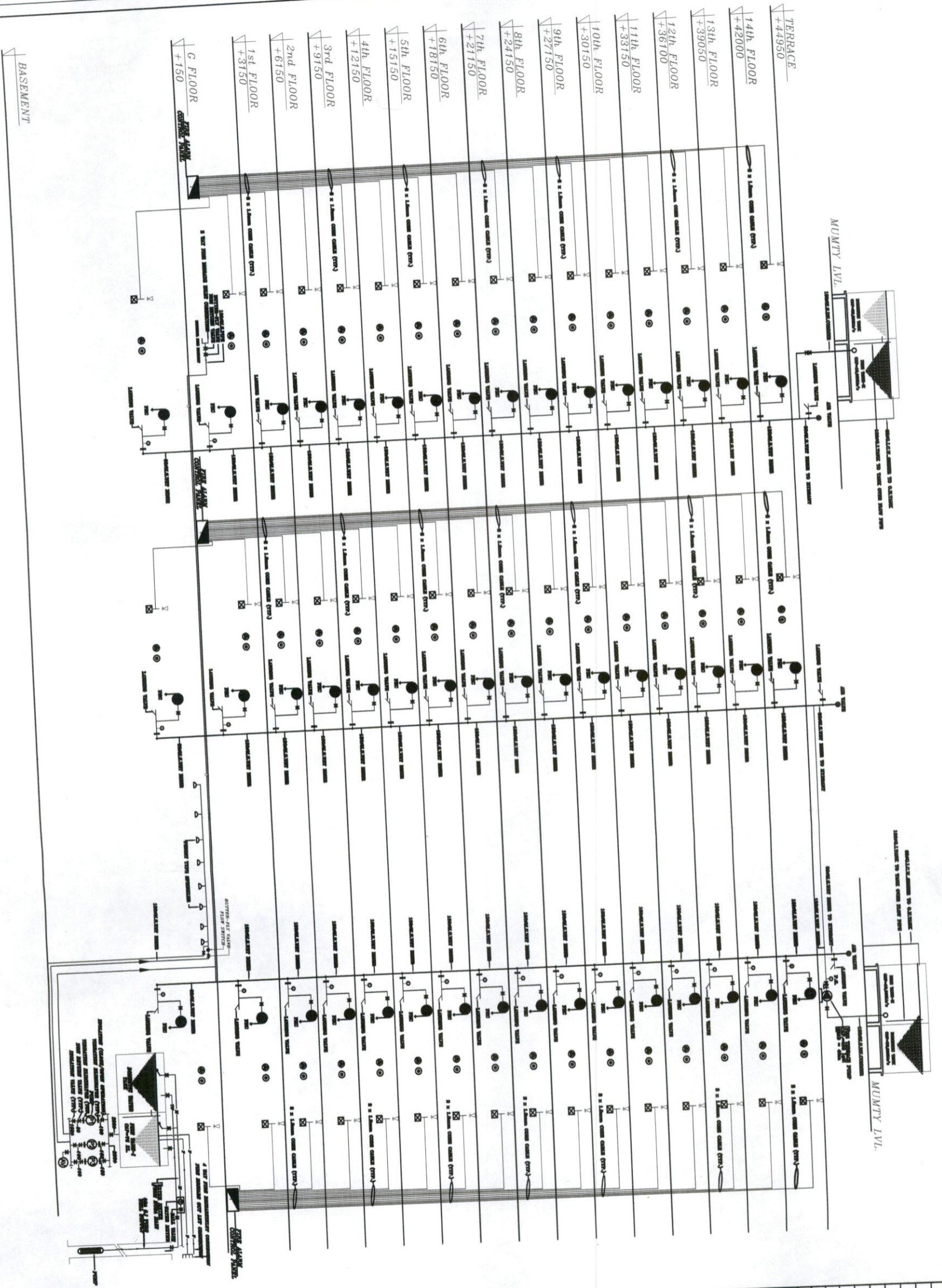
10. F.T. 110x110mm

11. F.D. 75x75mm

12. BALCONY PL. F.D. 75x75mm

13. 110mm uPVC I

14. R.W. KHURRA



FIRE FIGHTING NOTES
 NOTE:- AS PER NATIONAL BUILDING CODE PART-4, FIRE AND LIFE SAFETY SERVED TYPE-OF BUILDING APARTMENTS-(1) ABOVE SLM IN HEIGHT EXCEEDING 45M IN HEIGHT
 1. FIRE EXTINGUISHER
 A.B.C TYPE
 2. HOSE REEL
 3. VERT RISER
 4. MANUALLY OPERATED ELECTRICAL FIRE ALARM
 5. AUTOMATIC SPRINKLER SYSTEM (RATED)
 6. OTHER HEAD FIRE TANK CAP = 10.
 7. UNDERGROUND STATIC WATER STORAGE TANK CAP = 75,000LITERS
 8. P-1, MAIN FIRE PUMP
 CAP = 1600LPM
 HEAD = 65M
 P-2, JOCKEY PUMP
 CAP = 200LPM
 HEAD = 65M
 P-3, DISSIPER PUMP
 CAP = 1000LPM
 HEAD = 50M

CLIENT :
 EXOTICA DEVEL

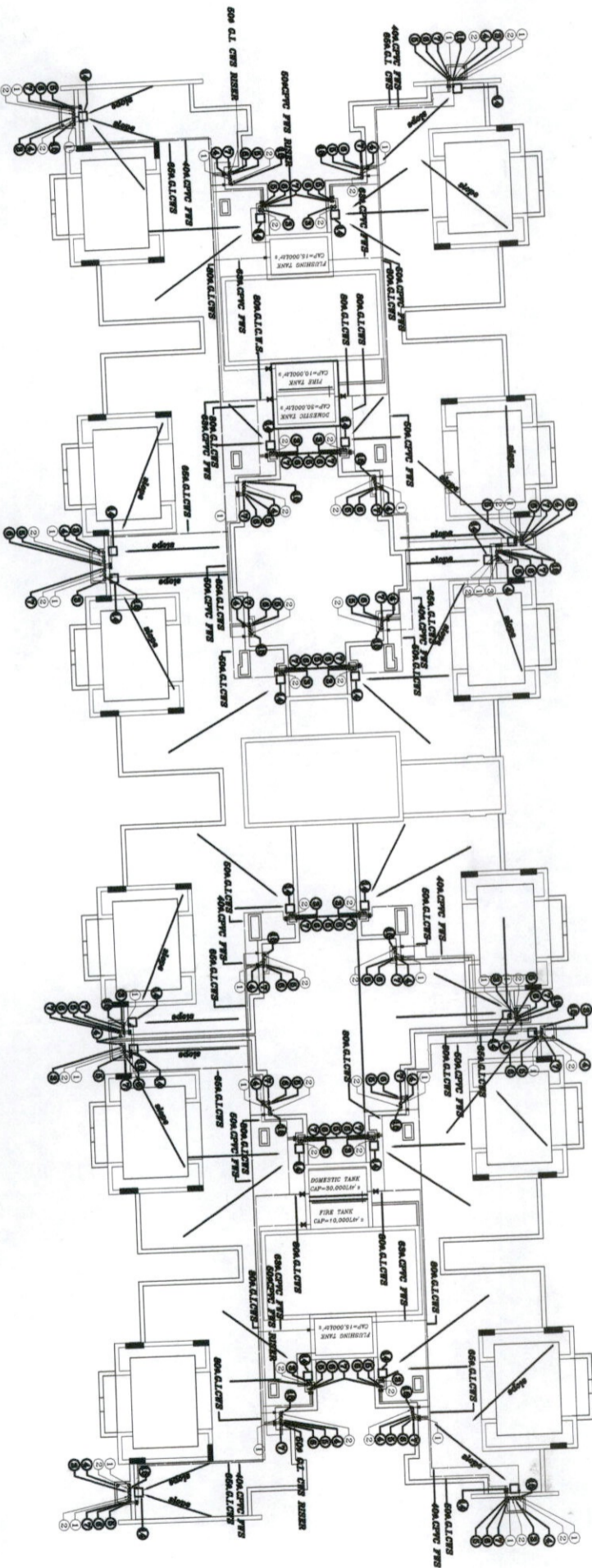
ARCHITECTS :
 NAVEEN VJJ
 9 - HERIKANT COLONY,
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 EMAIL - arch@naveen.vjj.com

CONSULTANTS :
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 10 - Anandwada Agar
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 Phase, 28651441 2816
 Email: +91-11-26462800

TITLE NAME:
 EXOTICA EASTERN COURT
DATE :
 30-01-2012
DRAWN BY:
 M.K.S
CHECKED BY:
 RAW
SCALE :
 1:15

PRODUCED BY AN AUTODESK EDUCATIONAL COURSE

TERRACE PLAN



SYMBOL	DESCRIPTION	SCALE
(Symbol)	40mm PVC WAST	1:100
(Symbol)	110mm P.V.C. WAST	1:100
(Symbol)	F.D. 75x75mm	1:100
(Symbol)	110mm uPVC B...	1:100

1. 40mm PVC WAST
2. 110mm P.V.C. WAST
3. 110mm P.V.C. WAST
4. 75mm P.V.C. WAST
5. C.P.V.C. WAST DN (Ground to 6)
6. C.P.V.C. WAST DN (150mm to 7th)
7. C.P.V.C. WAST DN (4th Floor)
8. 75mm P.V.C. WAST
9. 40mm P.V.C. WAST
10. F.T. 110x110mm
11. F.D. 75x75mm
12. BALCONY FLOOR
13. 110mm uPVC B...
14. R.M. KHURRA

PROJECT TITLE: EXOTICA EAST HOUSING PROJECT AT EXOTICA DEV

CLIENT: EXOTICA DEV

APPROVED BY: [Signature]

ARCHITECTS: NAVEN VILAS HIRKING COLLEGE, GREATER KOLKATA, NEW DELHI - 110001, FAX: +91-11-4111-41, EMAIL: architects@naven.com

CONSULTANTS: PDS CONSULTANTS, 10-A, APPROVED NEW K.C.E.R.T. Road, +91-11-2611-1111

PLUMBING TERRACE

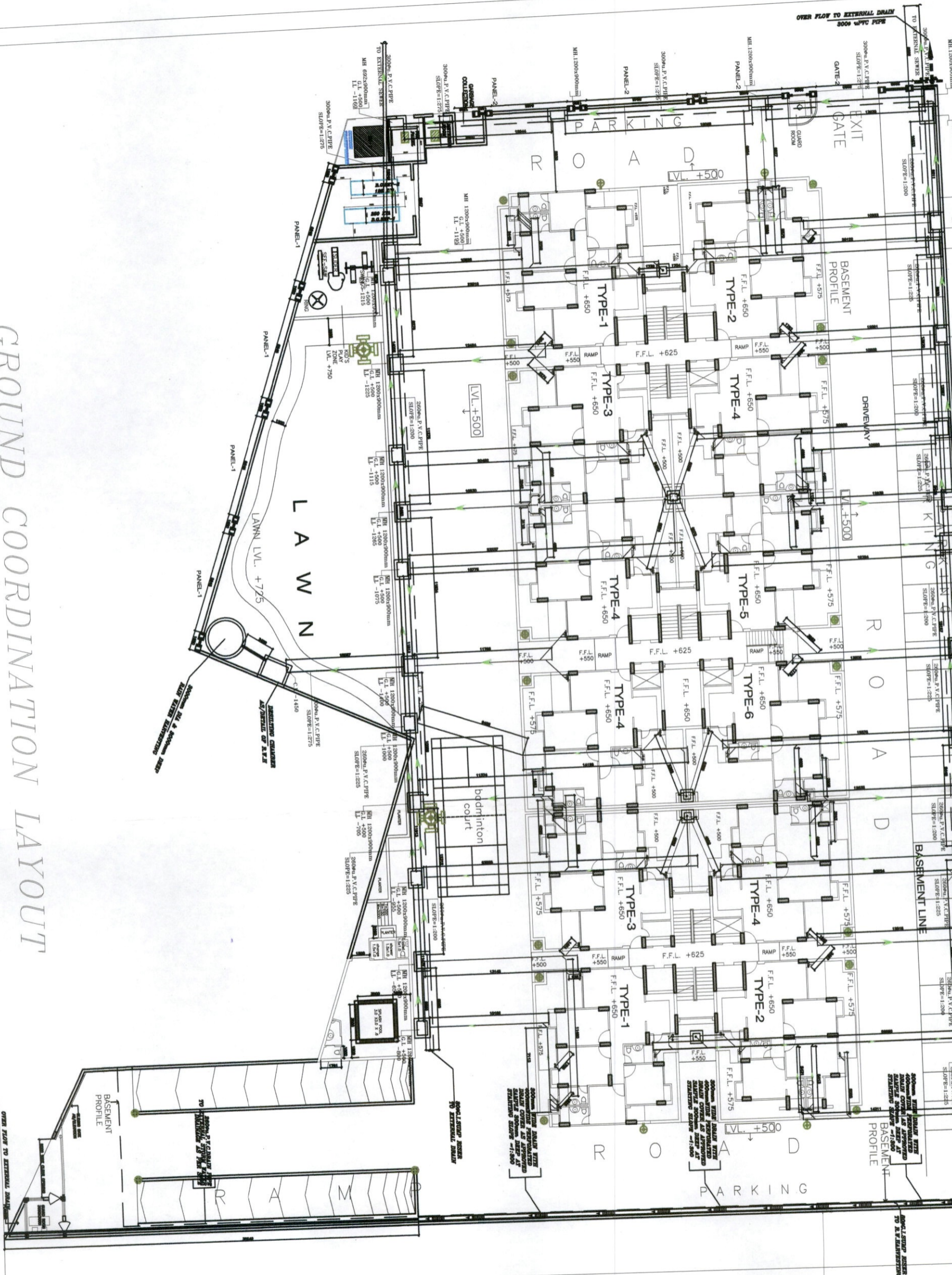
FILE NAME: EXOTICA EASTERN C

DATE: 30-01-2012

SCALE: M.K.S

DRAWN BY: M.K.S

GROUND COORDINATION LAYOUT



PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PROJECT TITLE :
EXOTICA EAST
HOUSING PROJECT AT

CLIENT :
EXOTICA DEV

APPROVED BY :

ARCHITECTS :
NAVEEN VJ
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GREATER KUALA
KUALA LUMPUR
PH - +61-11-4165
FAX - +61-11-4165
EMAIL - arch@naveen.com

CONSULTANTS :
PDS Co
10-A, Anson
Road, #01-01
Singapore 049911
Phone: +65 434 8888
Email: pds@pds.com.sg

DRAWING TITLE :
PLUMBING
GROUND F

FILE NAME :
EXOTICA EASTERN CL

DATE :
10-06-2010

SCALE :
M.K.S

DESIGNED BY :
M.K.S

CHECKED BY :

APPROVED BY :

PROJECT TITLE :
EXOTICA EAST
HOUSING PROJECT AT

CLIENT :
EXOTICA DEV

APPROVED BY :

ARCHITECTS :
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GREATER KUALA
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Singapore 049911
Phone: +65 434 8888
Email: pds@pds.com.sg

DRAWING TITLE :
PLUMBING
GROUND F

FILE NAME :
EXOTICA EASTERN CL

DATE :
10-06-2010

SCALE :
M.K.S

DESIGNED BY :
M.K.S

CHECKED BY :

APPROVED BY :

PROJECT TITLE :
EXOTICA EAST
HOUSING PROJECT AT

CLIENT :
EXOTICA DEV

APPROVED BY :

ARCHITECTS :
NAVEEN VJ
8 - HANMONT COL
GREATER KUALA
KUALA LUMPUR
PH - +61-11-4165
FAX - +61-11-4165
EMAIL - arch@naveen.com

CONSULTANTS :
PDS Co
10-A, Anson
Road, #01-01
Singapore 049911
Phone: +65 434 8888
Email: pds@pds.com.sg

DRAWING TITLE :
PLUMBING
GROUND F

FILE NAME :
EXOTICA EASTERN CL

DATE :
10-06-2010

SCALE :
M.K.S

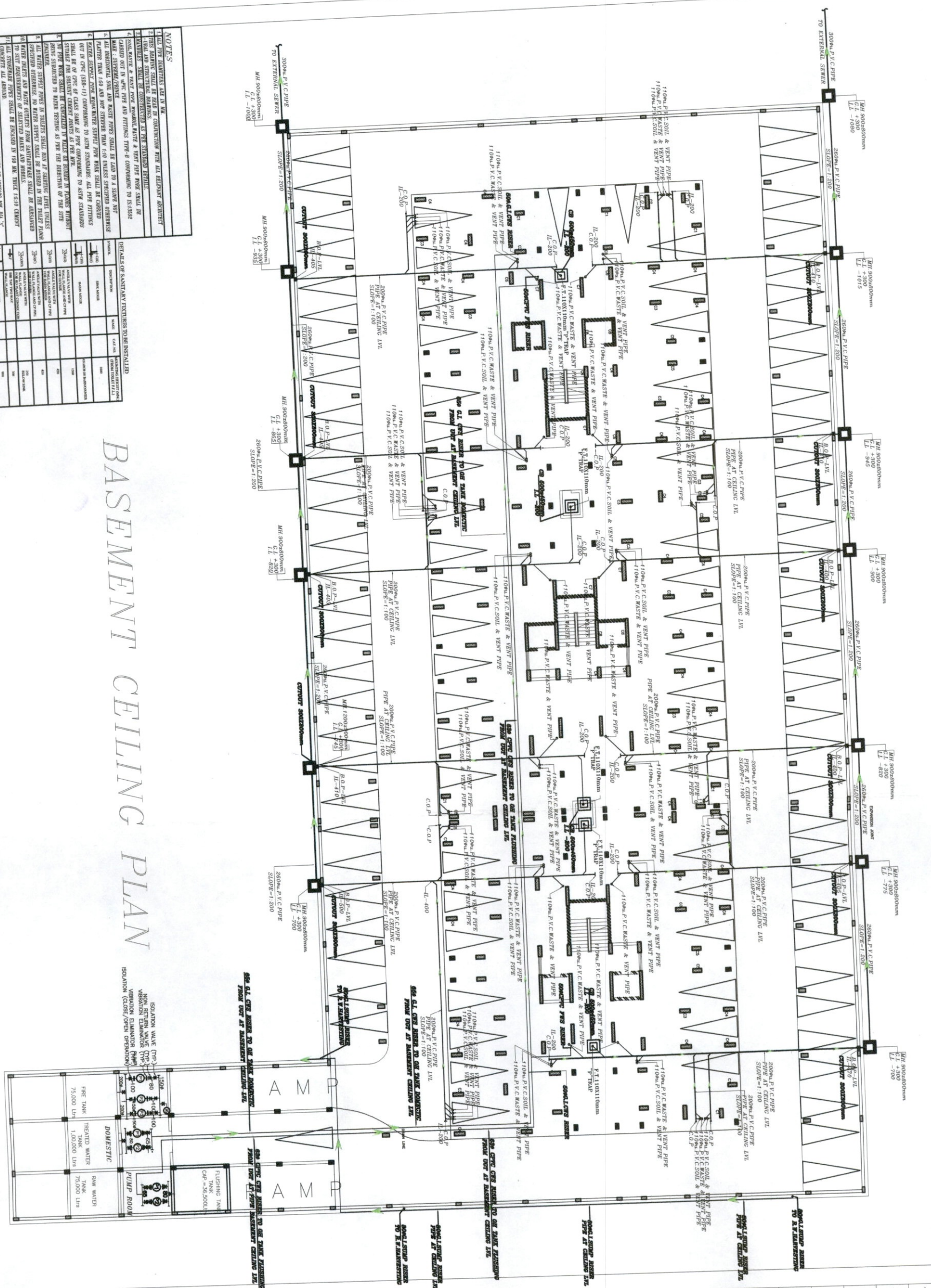
DESIGNED BY :
M.K.S

CHECKED BY :

APPROVED BY :

BROOKLYN WALL JUNCTION
TO ADJOINING SOCIETY & AS PER

BASEMENT CEILING PLAN



- NOTES**
1. ALL THE SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.
 2. THIS DRAWING IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.
 4. ALL SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.
 5. ALL SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.
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 13. ALL SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.
 14. ALL SANITARY AND MECH. FITTINGS SHOULD BE INSTALLED IN CONFORMANCE WITH ALL RELEVANT REGULATORY STANDARDS.

DETAILS OF SANITARY FIXTURES TO BE INSTALLED

NO.	DESCRIPTION	QTY	REMARKS
1	WATER CLOSET	10	
2	TOILET	10	
3	SHOWER	10	
4	SHOWER WITH TUB	10	
5	SINK	10	
6	URINAL	10	
7	FLOOR DRAIN	10	
8	ROOF VENT	10	
9	AIR CONDITIONING UNIT	10	
10	CHILLER	1	
11	CONDENSER	1	
12	PUMP	1	
13	FIRE TANK	1	
14	TREATED WATER TANK	1	
15	RAW WATER TANK	1	
16	PUMP ROOM	1	
17	MECHANICAL ROOM	1	
18	UTILITY ROOM	1	
19	STAIR	1	
20	ELEVATOR	1	

PROJECT TITLE: EXOTICA EAST HOUSING PROJECT AT EXOTICA DEV

CLIENT: EXOTICA DEV

ARCHITECTS: NAVEEN VIJ

CONSULTANTS: PPS CONSULTANTS

DATE: 10-06-2010

DRAWN BY: M.K.S.

SCALE: AS SHOWN

PROJECT NO.: 10-06-2010

PROJECT TITLE: EXOTICA EAST HOUSING PROJECT AT EXOTICA DEV

CLIENT: EXOTICA DEV

ARCHITECTS: NAVEEN VIJ

CONSULTANTS: PPS CONSULTANTS

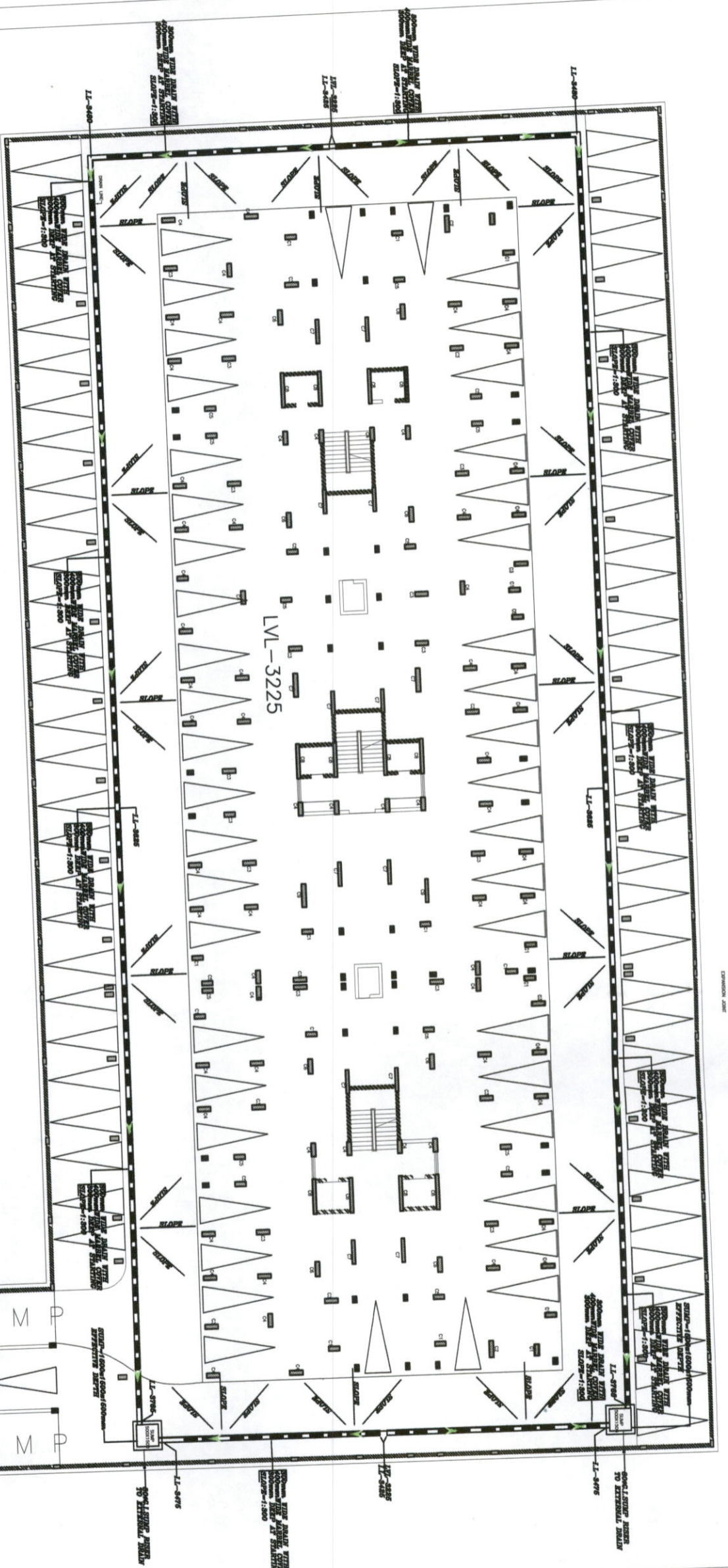
DATE: 10-06-2010

DRAWN BY: M.K.S.

SCALE: AS SHOWN

PROJECT NO.: 10-06-2010

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



BASEMENT FLOOR PLAN

- NOTES**
1. ALL PIPING SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 2. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 3. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 4. SOIL MASTER & VENT PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 5. SOIL MASTER & VENT PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 6. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 7. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 8. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 9. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
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 11. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 12. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 13. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.
 14. ALL RIGID PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES.

DETAILS OF SANITARY FIXTURES TO BE INSTALLED

NO.	DESCRIPTION	QTY.	REMARKS
1	TOILET	100	100
2	SINK	100	100
3	WATER TAP	100	100
4	WATER TAP	100	100
5	WATER TAP	100	100
6	WATER TAP	100	100
7	WATER TAP	100	100
8	WATER TAP	100	100
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97	WATER TAP	100	100
98	WATER TAP	100	100
99	WATER TAP	100	100
100	WATER TAP	100	100

1.	1100uL P.V.C. WAST
2.	1100uL P.V.C. WAST
3.	1100uL P.V.C. WAST
4.	750uL P.V.C. WAST
5.	C.P.V.C. WAST DN (Ground to 6)
6.	C.P.V.C. WAST DN (150uL to 70u)
7.	C.P.V.C. WAST DN (Kitchen floor)
8.	C.P.V.C. WAST DN (FLOORING WA)
9.	400uL P.V.C. WAST
10.	F. 7. 110x110mm
11.	F. D. 75x75mm
12.	BALCONY FLOOR
13.	1100 uL P.V.C. WAST
14.	R. M. KHURBA

PROJECT TITLE :
EXOTICA EAST
HOUSING PROJECT AT
EXOTICA DEV

ARCHITECTS :
NAVEEN VIL
GREATER KUALA LUMPUR
P.O. BOX 11-416
KUALA LUMPUR
MALAYSIA

DATE : 10-06-2010

FILE NAME : EXOTICA EASTERN CV

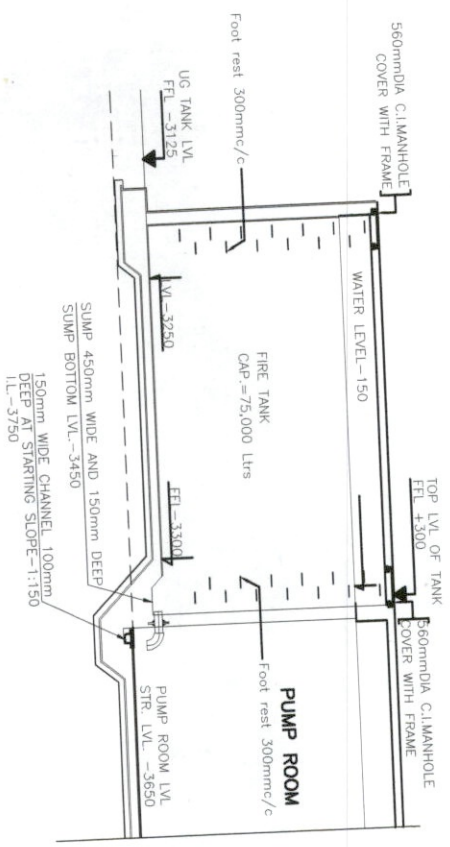
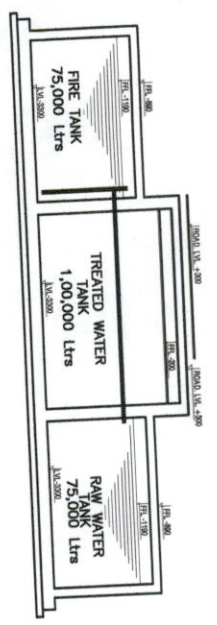
SCALE : AS SHOWN

DRAWN BY : M.K.S.

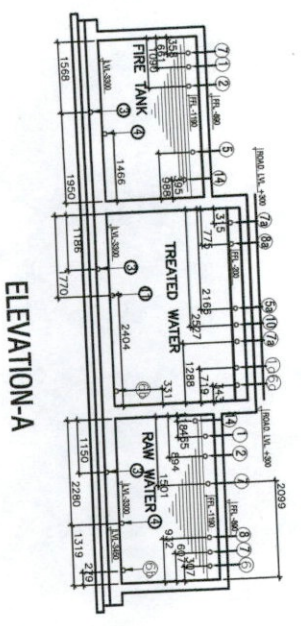
PLUMBING BASEMENT

CONSULTANTS :
PDS CONSULTANTS

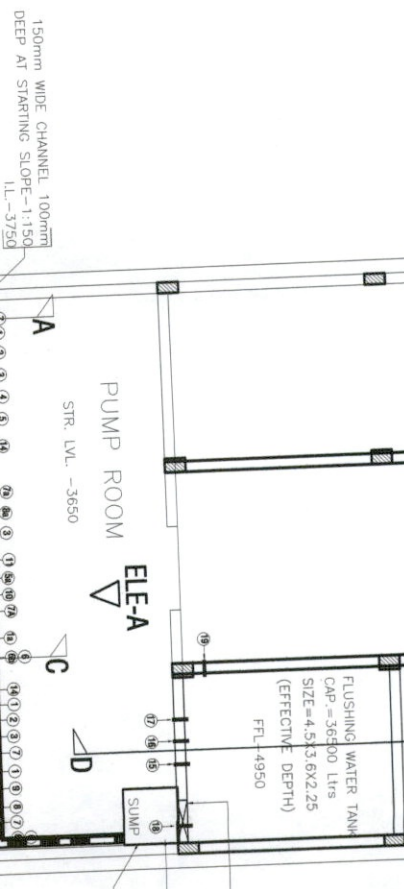
APPROVED BY :



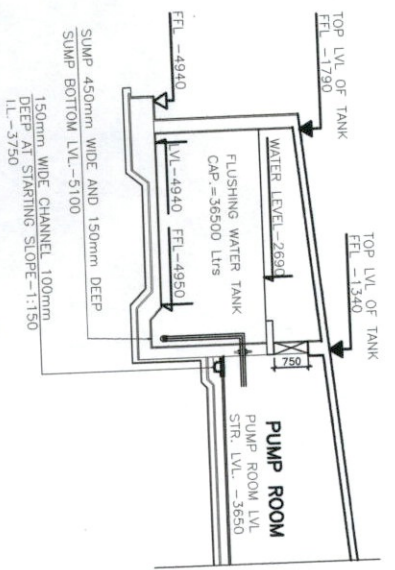
SECTION A-A



ELEVATION-A



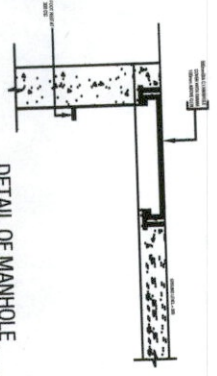
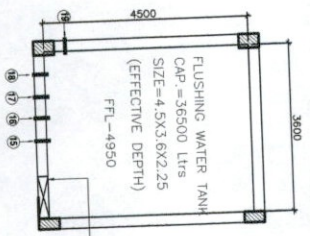
U.G. TANK PLAN



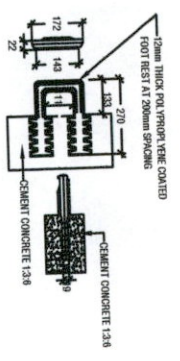
SECTION D-D



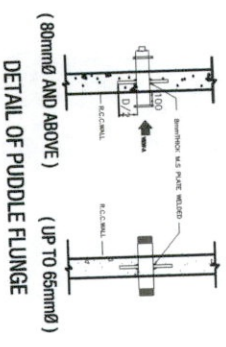
FLUSHING WATER TANK



DETAIL OF MANHOLE 560mm dia C.I. MANHOLE COVER WITH FRAME SECTION B-B



DETAIL OF FOOT REST



DETAIL

2	INLET CONNECTION FORM T.W. TANK & RAW WATER TANK	50
3	DRAIN OUT PIPE	200
4	SUCTION PIPE FOR FIRE PUMPS	50
5	WATER LVL. CONTROLLER (FIRE TANK)	50
6	WATER LVL. CONTROLLER (TREATED WATER TANK)	25
7	WATER LVL. INDICATOR TOP LVL. (RAW WATER TANK)	25
8	WATER LVL. INDICATOR TOP LVL. (TREATED WATER)	25
9	WATER LVL. INDICATOR BOTTOM LVL.	100
10	VENT PIPE FIRE & RAW WATER TANK	100
11	VENT PIPE TREATED WATER TANK	100
12	OVER FLOW PIPE RAW WATER TANK	100
13	OVER FLOW PIPE TREATED WATER TANK	150
14	RAW WATER SUCTION PIPE	100
15	TREATED WATER INLET CONNECTION	150
16	FIRE BRIGADE INLET CONNECTION	150
17	OVER FLOW FIRE TANK TO RAW W. TANK	150
18	FLUSHING WATER INLET CONNECTION	80
19	FLUSHING WATER OUTLET CONNECTION	80
20	WATER LVL. CONTROLLER (FLUSHING TANK)	50
21	OVERFLOW PIPE TO SUMP	80
22	VENT PIPE	80

PLANT ROOM

SECTION C-C

PROJECT TITLE
EXOTICA EASTERN COURT
 HOUSING PROJECT AT CROSSING REPUBLIC

DRG. TITLE
UNDERGROUND WATER TANK
 PLAN & SECTION

CONSULTANTS
PDS CONSULTANTS
 CONSULTING ENGINEERS

ARCHITECTS :
NAVEEN VIJ
 8 - HEKKUNT COLONY, GREATER KAILASH - I,
 NEW DELHI - 110048, PH. - +91-11-41633062
 FAX - +91-11-41633062
 EMAIL - architectnavveenvj@yahoo.co.in

DESIGNED	P.K.
DRAWN	R.G
SCALE	N.T.S.
DATE	17.03.11

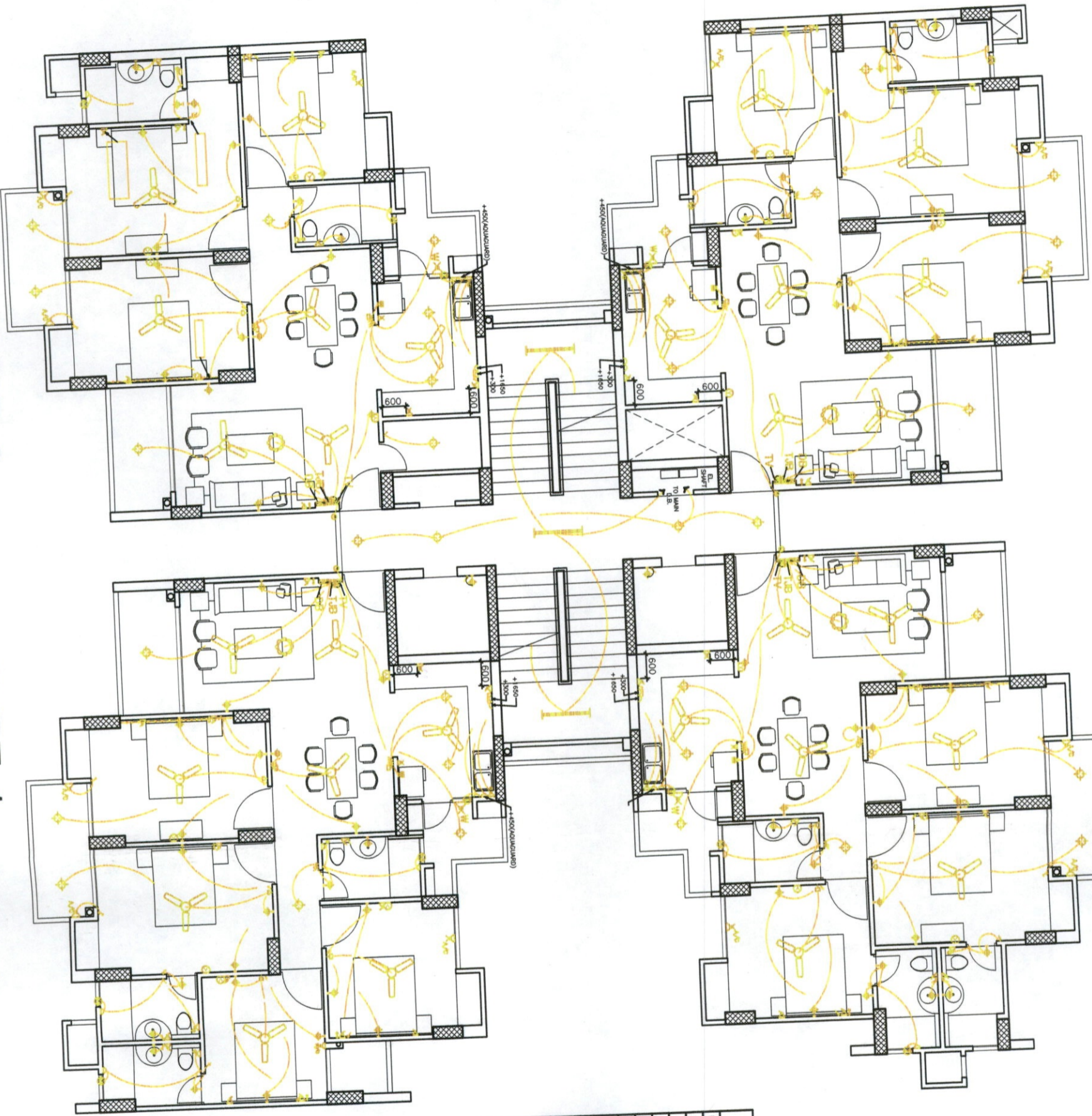
NOTES



BLOCK-A
WATER SUPPLY
SCHEMATIC DIAGRAM

BLOCK-B
WATER SUPPLY
SCHEMATIC DIAGRAM

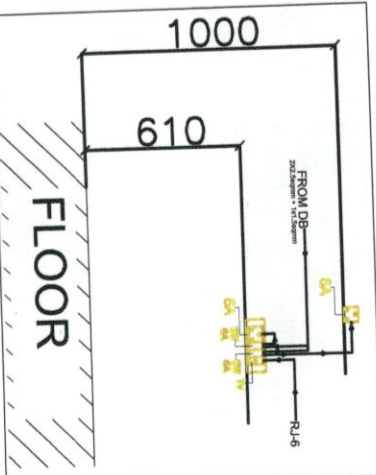
PROJECT TITLE:	EXOTICA EAS HOUSING PROJECT /
CLIENT:	EXOTICA DE
APPROVED BY:	
ARCHITECTS:	NAVEEN 8 - HEWITT GREATER K PH: +91- FAX: +91- EMAIL: -@
DRAWING TITLE:	WATER SCHEMATIC
CONSULTANTS:	P.D. CON
FILE NAME:	EXOTICA EASTERN
DATE:	30-01-2012
DRAWN:	M.K.S.



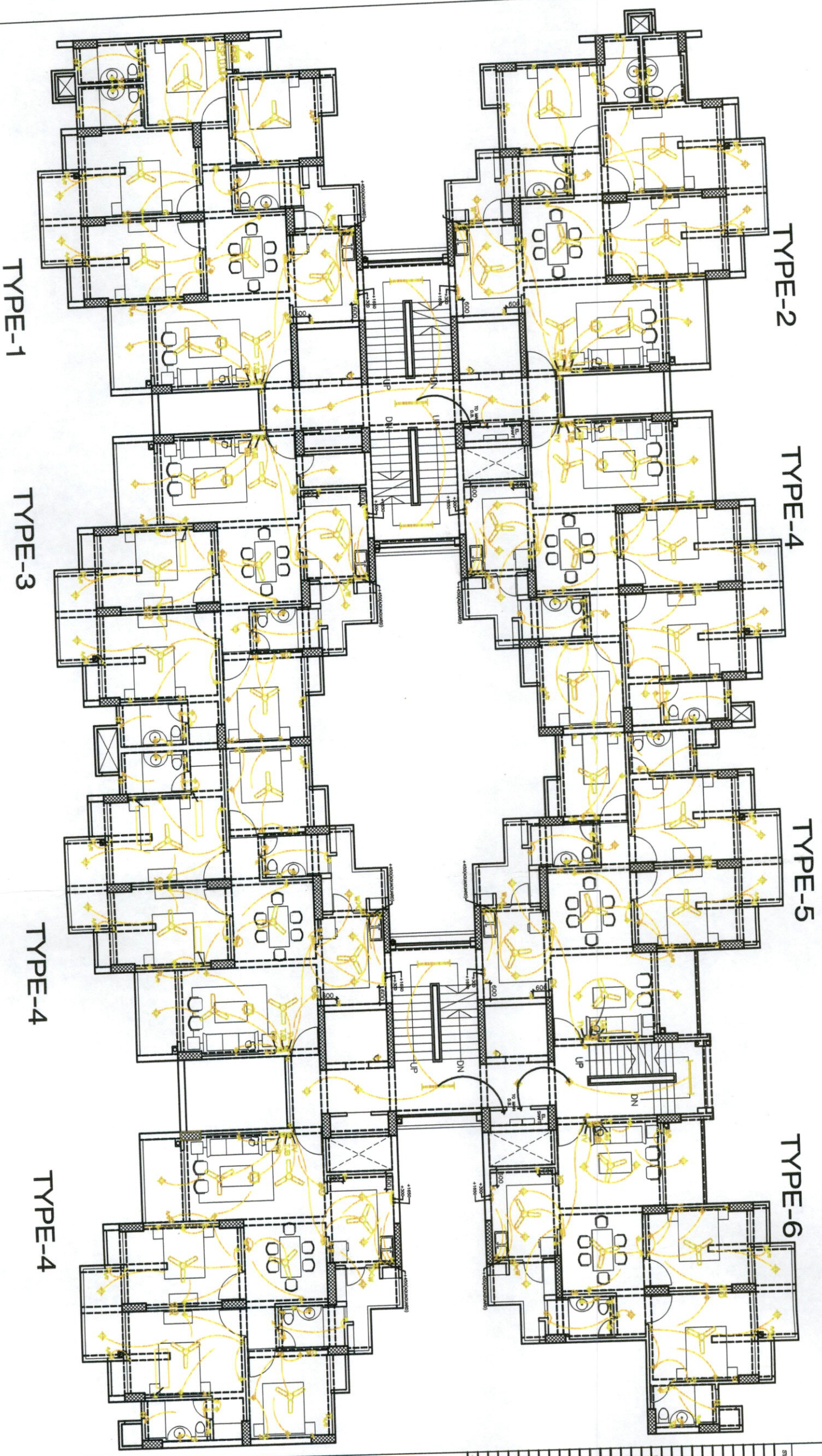
TYPE-3

TYPE-1

DESCRIPTION	HEIGHT FROM F.F.L. TO BOTTOM OF SW. BOXES
DISTRIBUTION BOARD	+1500 mm
BRACKET LIGHT/WALL LIGHT	+2250 mm
5 AMP. PLUG POINTS NEAR BED	+600 mm
5 AMP. PLUG POINTS (SKERTING)	+300 mm
15 AMP. PLUG POINTS (SKERTING)	+300 mm
TELEPHONE POINTS (SKERTING)	+300 mm/+600 mm
MIRROR LIGHT	+1950 mm
15 AMP. OUTLET (WASHING MACHINE)	+1200 mm
T.V. POINTS	+300 mm/+600 mm
SWITCH BOX	+1000 mm
BELL PUSH	+1000 mm
TELEPHONE/TV JUNCTION BOX	BELOW BEAM SLAB



DETAIL - Y



5 AMP. PLUG POINTS (NEAR BED)	+300 mm
5 AMP. PLUG POINTS (SKERTING)	+300 mm
15 AMP. PLUG POINTS (SKERTING)	+300 mm / +400 mm
TELEPHONE POINTS (SKERTING)	+1950 mm
MIRROR LIGHT	+1200 mm
15 AMP. OUTLET (WASHING MACHINE)	+300 mm / +600 mm
T.V. POINTS	+1000 mm
SWITCH BOX	+1000 mm
BELL PUSH	+1000 mm
TELEPHONE / TV A.M.S.O.X	BELOW BEAM SLAB

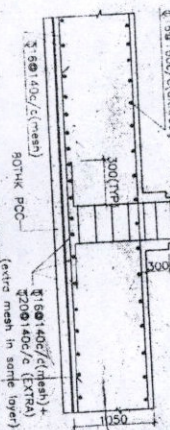
SYMBOLS	
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79	80
81	82
83	84
85	86
87	88
89	90
91	92
93	94
95	96
97	98
99	100

PROJECT NO. EXOTIC
 PROJECT TITLE
 PREPARED BY
 CHECKED BY
 SHEET TITLE
 TYPIC (PART)
 JOB NO. :
 REVISIONS
 DATE :
 DRAWN :
 ARCHITECT :
 NAVABEEN
 GHAZVANI
 PAKISTAN
 PAK - 48100
 MOBILE : 333-3333
 WWW.NAVABEEN.COM

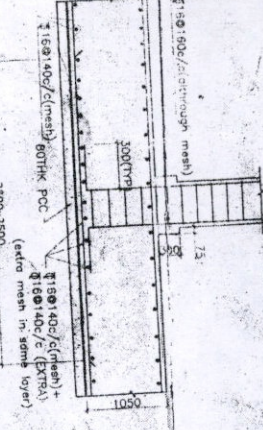
COLUMNS DETAIL (NON-TOWER AREA)

SECTION A-A	SECTION B-B	SECTION C-C	SECTION D-D
12-208	8-208	8-168	8-208
300x450 M30	300x450 M30	230x450 M30	300x450 M30
BC1	BC2	BC3	BC4

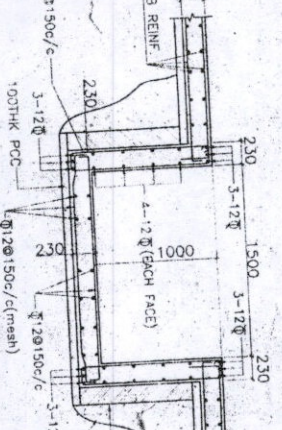
TYPICAL SUMP DETAIL
 100THK PCC
 200THK PCC
 2500x2500



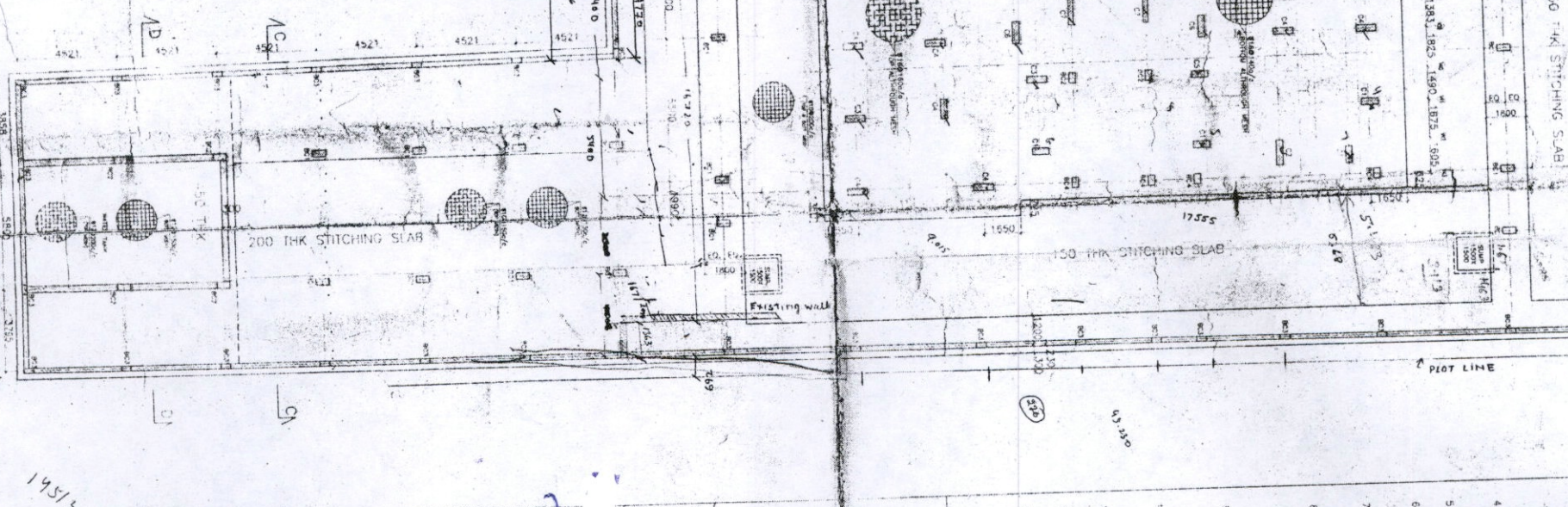
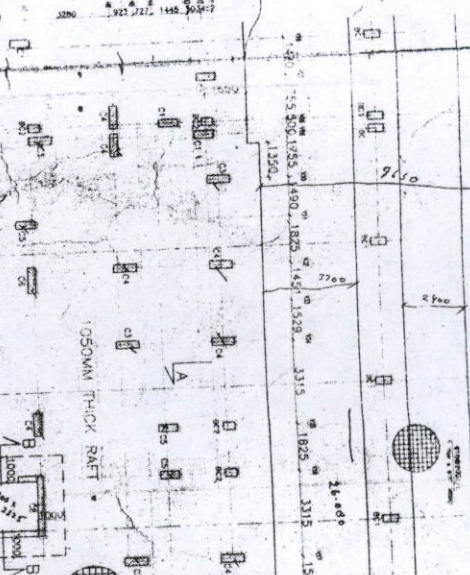
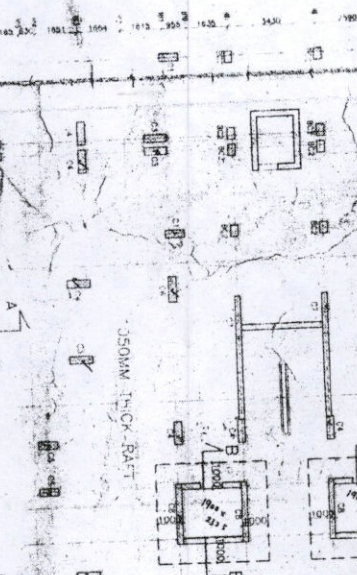
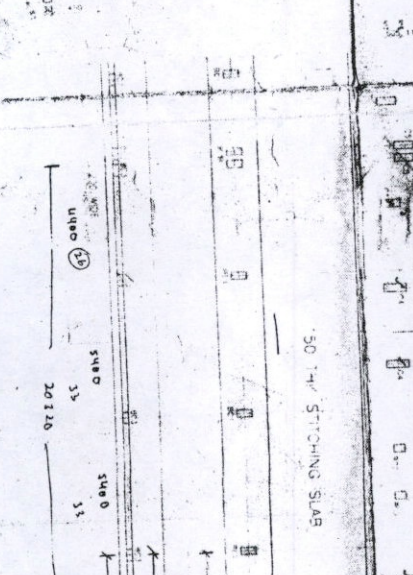
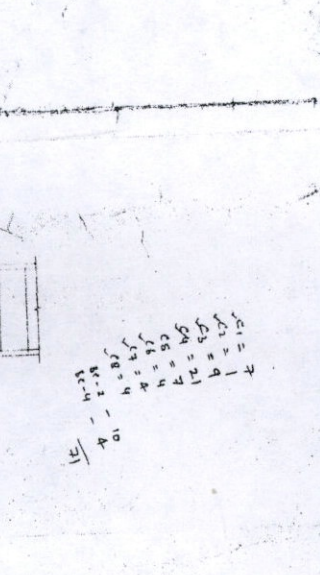
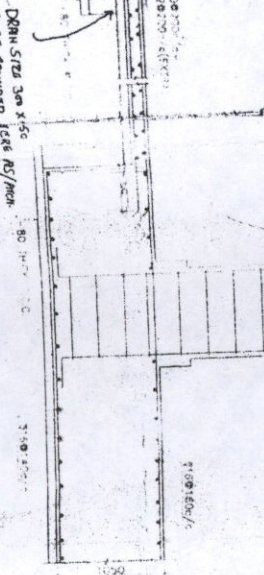
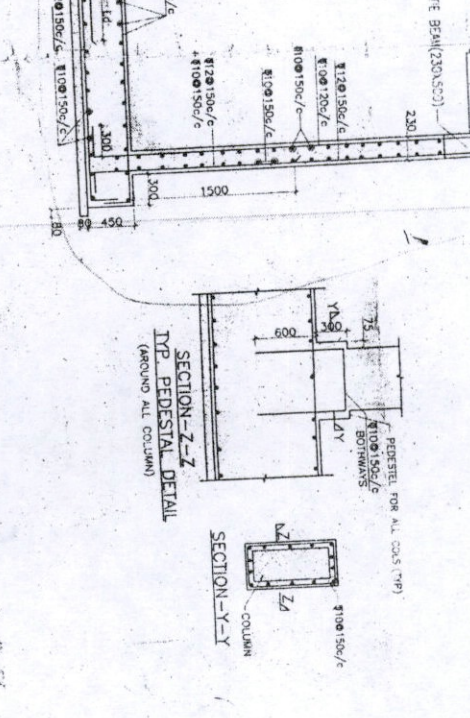
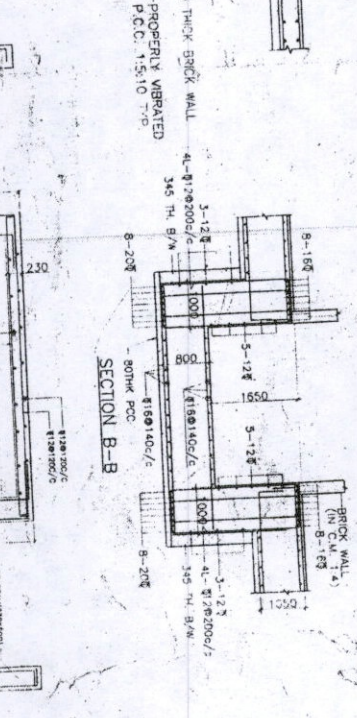
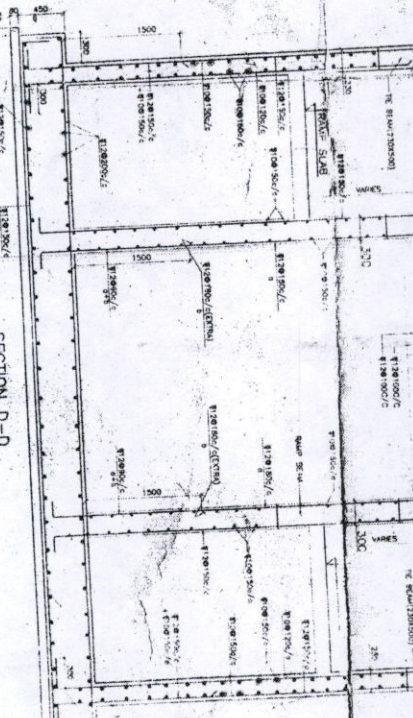
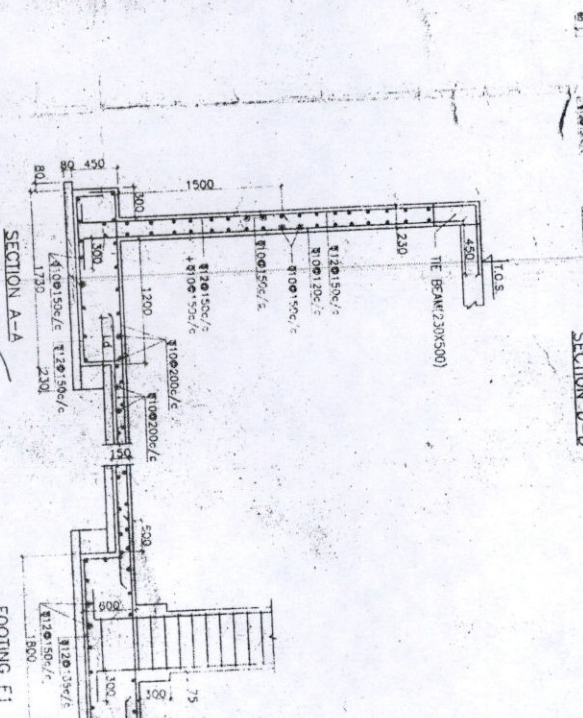
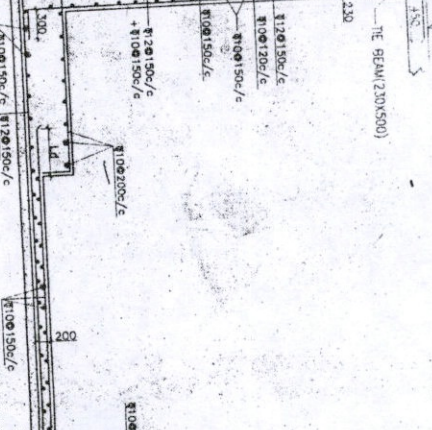
TYPICAL SUMP DETAIL
 100THK PCC
 200THK PCC
 2500x2500



TYPICAL SUMP DETAIL
 100THK PCC
 200THK PCC
 2500x2500



TYPICAL SUMP DETAIL
 100THK PCC
 200THK PCC
 2500x2500



FOR EXOTICA
Part 2

PROJECT TITLE: EXOTICA HOUSING PHASE
 CLIENT: EXOTICA
 DRG. TITLE: FOUNDATION PART - 2
 CONSULTANTS: P.H.I.
 ARCHITECTS: NAVEN, VIA
 DESIGNER: [Signature]
 SCALE: AS SHOWN
 DATE: 19/5/15

OTHER SERVICES OR OTHER SERVICES OR OTHER SERVICES SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT.

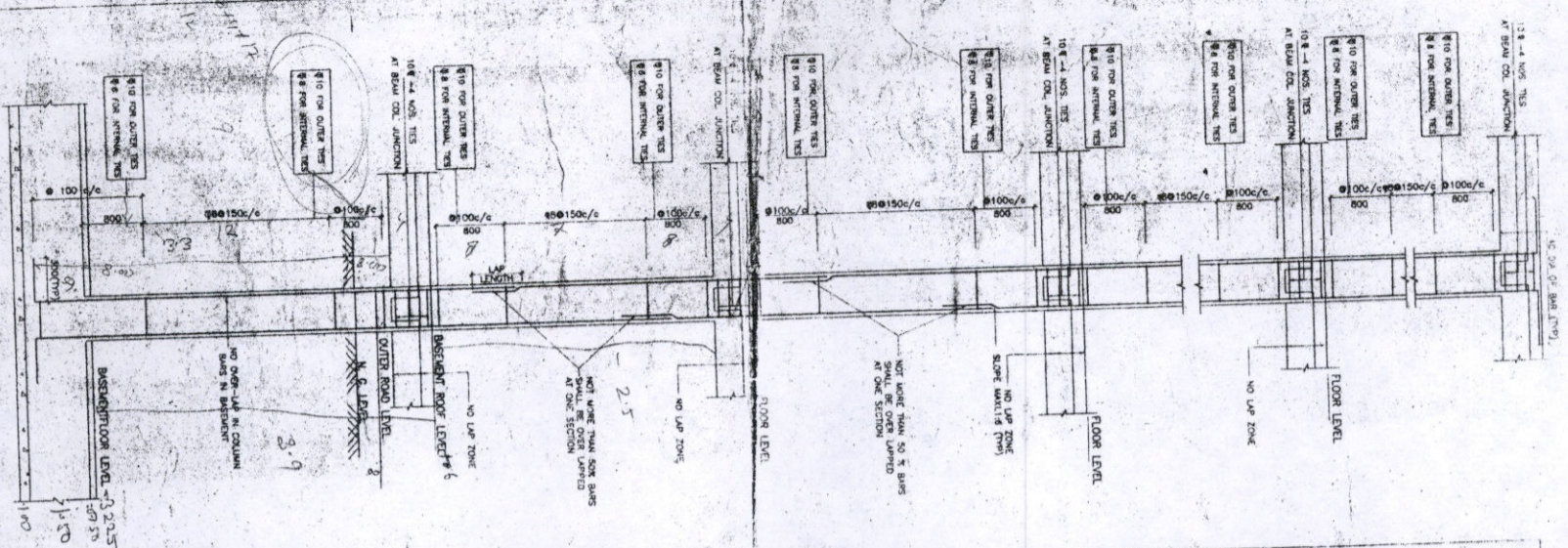
- FOUNDATION HAS BEEN CONSTRUCTED TO A DEPTH OF 700 MM FROM FINISHED FLOOR LEVEL.
- LEAK CONCRETE BLOCKS SHALL BE CAST TO THE FOUNDATION SHALL BE FILLED WITH P.C.C.
- GRADE OF MIX FOR M30 FOR PART, M30 COLUMN IT SHALL BE AS FOLLOWS
- CLAR CORNER TO AN BE AS FOLLOWS
- FOOTING
- COLUMN
- WALL 25MM

- REINFORCEMENT SHALL BE 415 HIGH STRENGTH STEEL CONFORMING TO IS 1786 PART 1 (TMT) E
- USE LENGTH/BOND AS FINES THE DIA AND FINES IN (1)
- NOT MORE THAN 1
- SMALL BE OVERLAP
- TOP BARS SHOWN BOTTOM BARS SHOWN
- CONSTRUCTION JOINT SHALL BE PROVIDED
- U/S WHICH CONSTRUCTION JOINT SHOWN SHALL BE KEY

PART - 2

150 THK STITCHING SLAB
 200 THK STITCHING SLAB
 30 THK STITCHING SLAB

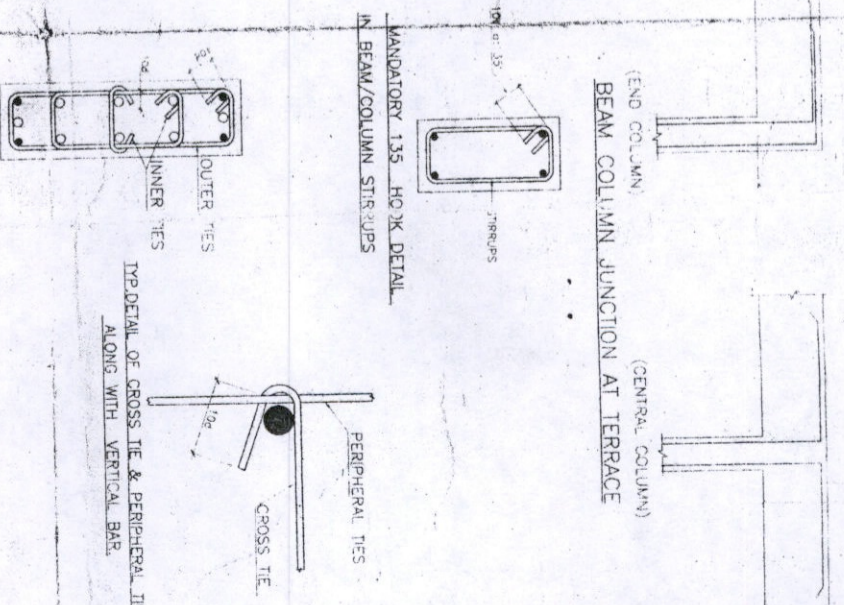
TYP. SEC. COLUMN OF SHOWING TIE SPACING AND LAP DETAILS



FOUNDATION LVL. TO GROUND FLOOR ROOF	GROUND FLOOR ROOF TO 5TH FLOOR ROOF	5TH FLOOR ROOF TO 8TH FLOOR ROOF	8TH FLOOR ROOF TO 12TH FLOOR ROOF	12TH FLOOR ROOF TO TERMINATION
<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X750</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X1110</p> <p>W30</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X900</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X900</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X750</p> <p>W25</p> <p>SHAPE OF TIE</p>
<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X900</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X900</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X750</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X995</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>230X1605</p> <p>W30</p> <p>SHAPE OF TIE</p>
<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X750</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>300X995</p> <p>W25</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>230X1605</p> <p>W30</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>230X2360</p> <p>W30</p> <p>SHAPE OF TIE</p>	<p>COL. SEC.</p> <p>COL. SIZE CONC. MIN</p> <p>230X2360</p> <p>W30</p> <p>SHAPE OF TIE</p>

SHAPE OF THE TIES FOR ALL FLOORS

COLUMN TIES DETAIL



TYP. DETAIL OF CROSS TIE & PERIPHERAL TIE ALONG WITH VERTICAL BAR

ENGINEERING CONSULTANTS
EXOTICA EASTERN COURT
 HOUSE PROJECT AT CROSSING REPUBLIC
 CLIENT: EXOTICA DEVELOPERS
 PROJECT TITLE: EXOTICA EASTERN COURT HOUSE PROJECT AT CROSSING REPUBLIC
 DATE: 10/28/10

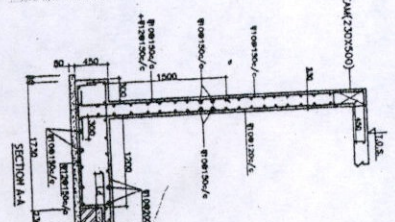
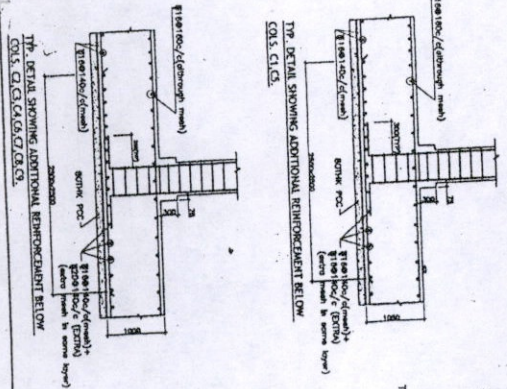
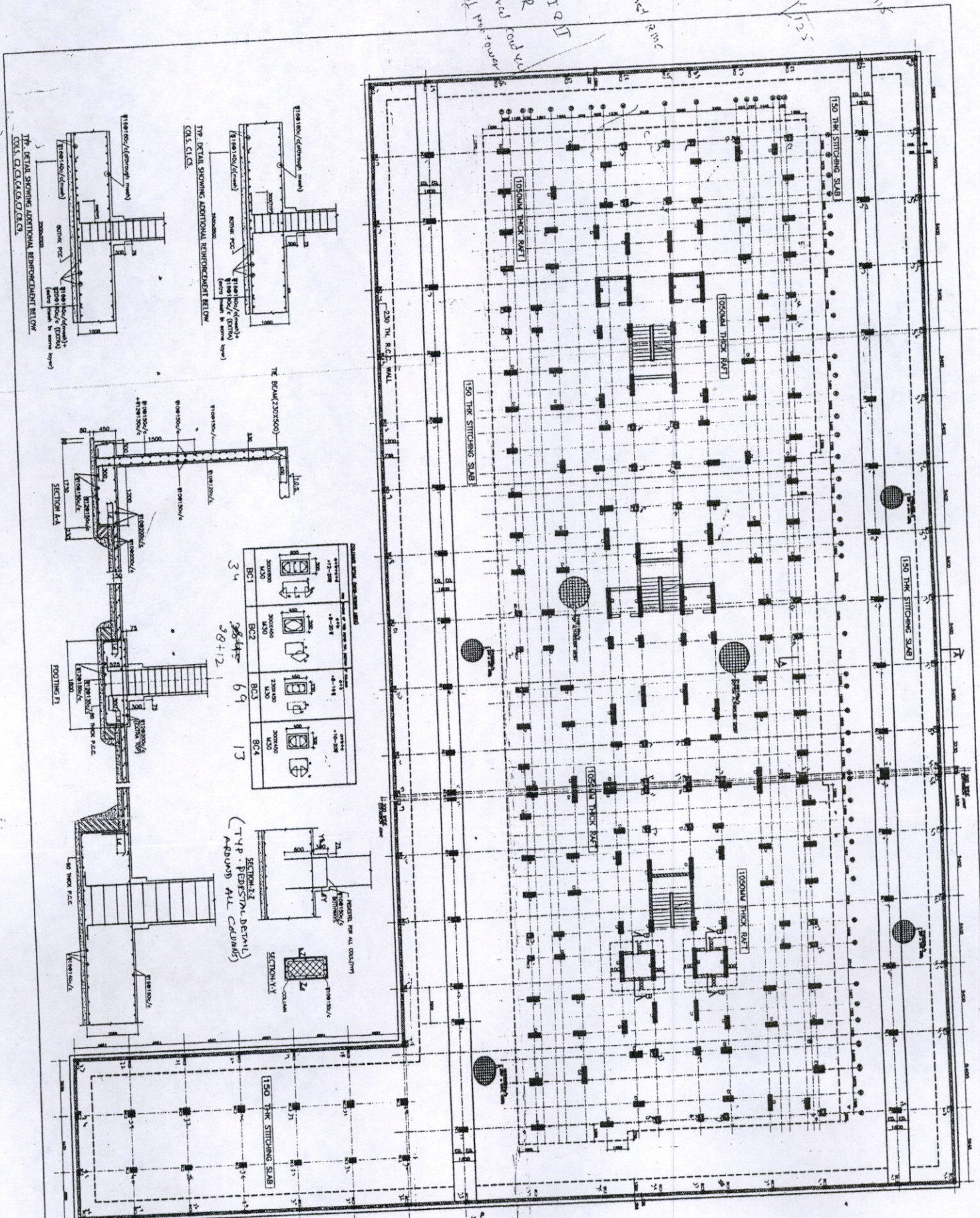
CONSULTANTS
ENGINEERING CONSULTANTS
 5-205 CHELSEA COMPLEX, 5th FLOOR, P.O. BOX 10995, NEW YORK, NY 10108

ARCHITECTS
 NAVEEN VU
 8 - HEMKUNT COLONY GREETER KALI AVENUE
 NEW DELHI - 110048 PH - +91-11-46313062
 FAX - +91-11-46313062
 EMAIL - architecture@navveen.com

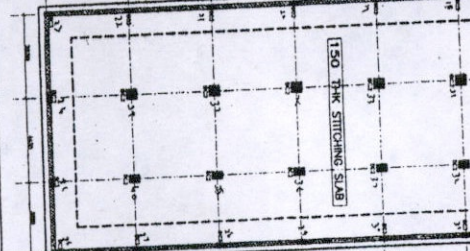
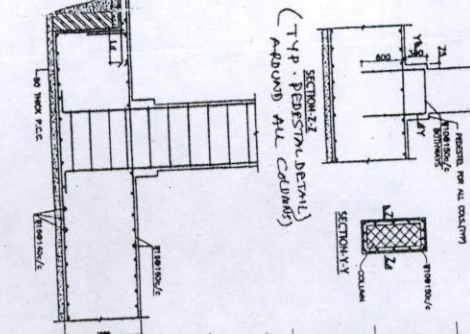
DESIGNED BY P.K.
DRAWN BY S.G.
SCALE 1/4" = 1'-0"
DATE 10/28/10

FOR H.R. B.

11/25
 11/25
 ADVISE AGAINST RING
 FOLLOWING - OWNER A
 SLAB TO BE L & R
 N. TOUVA L & R
 PART & WALLS OF THE POWER
 CABIN.



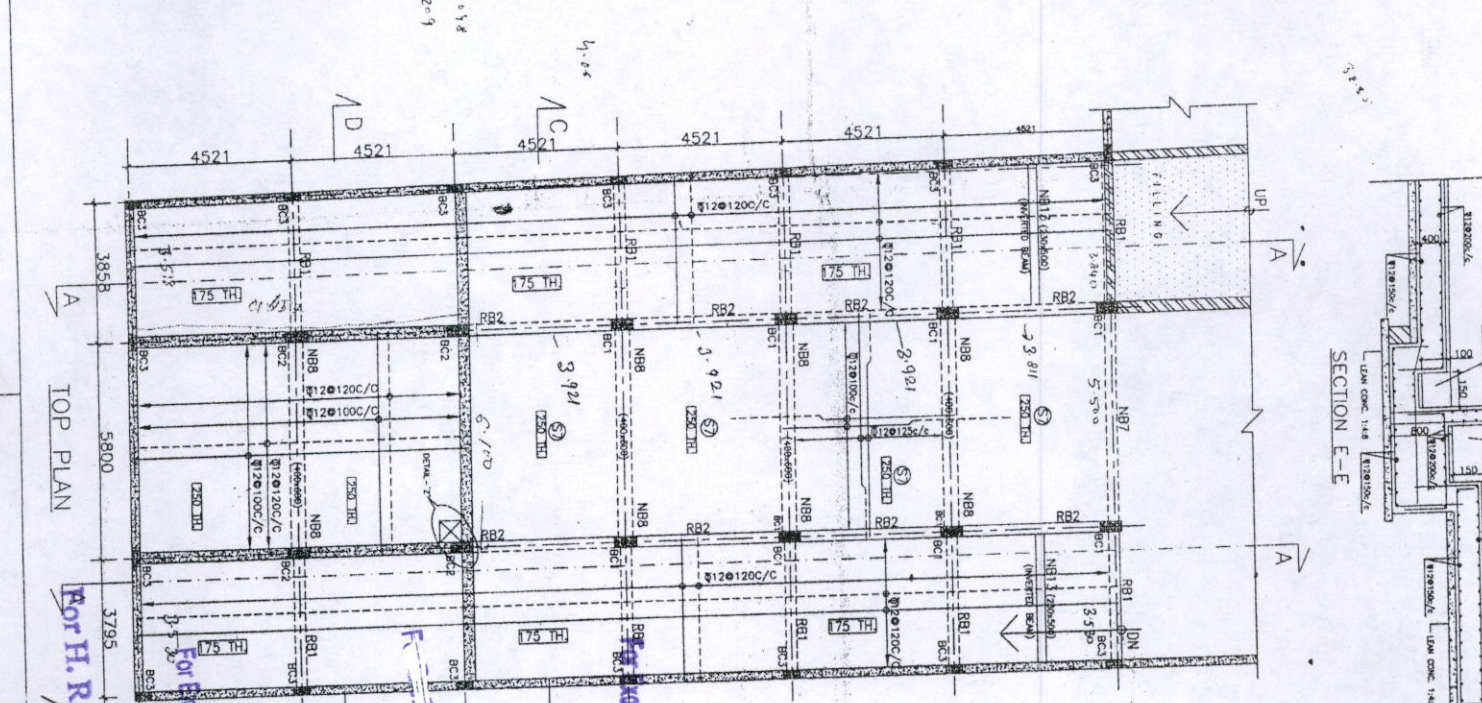
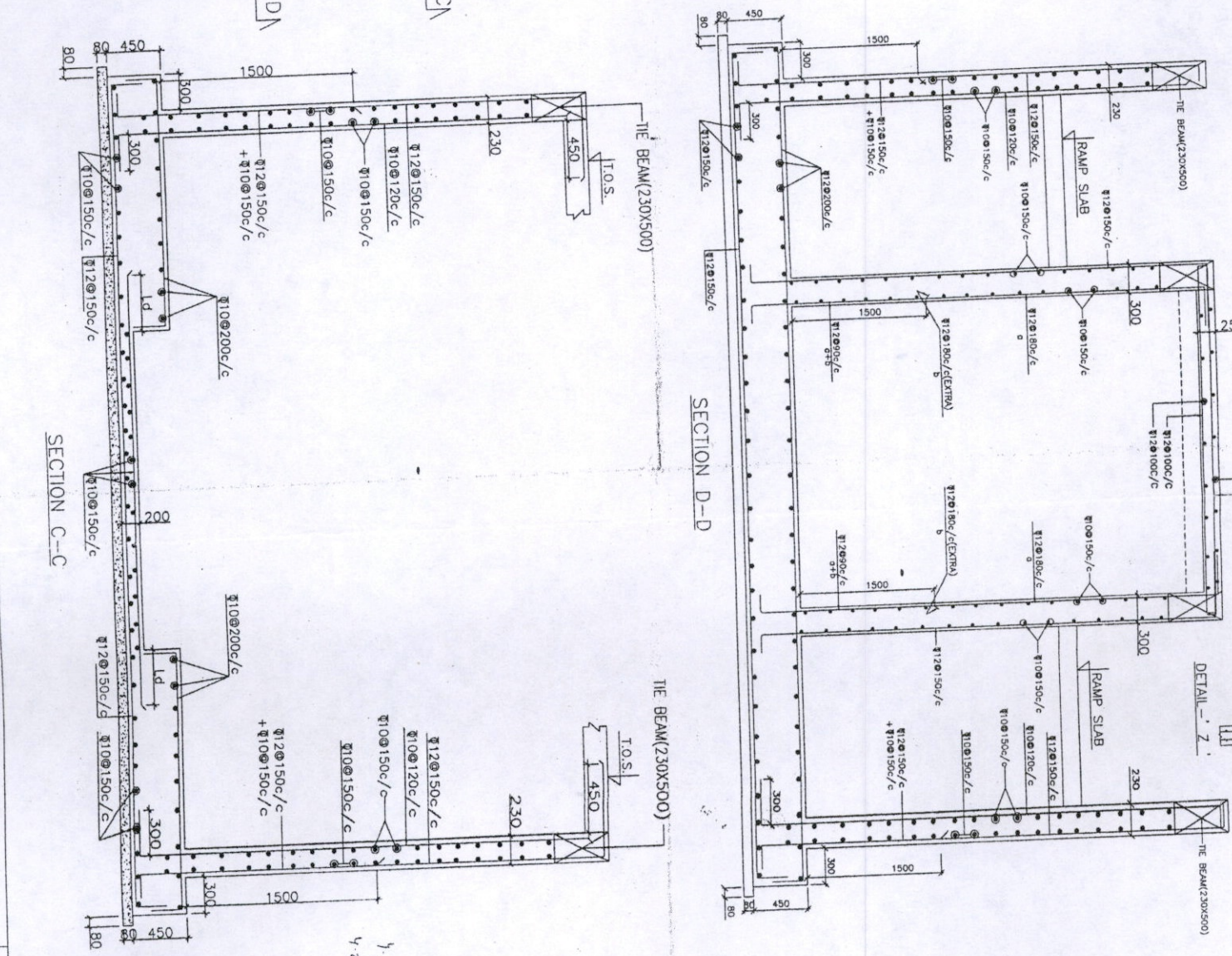
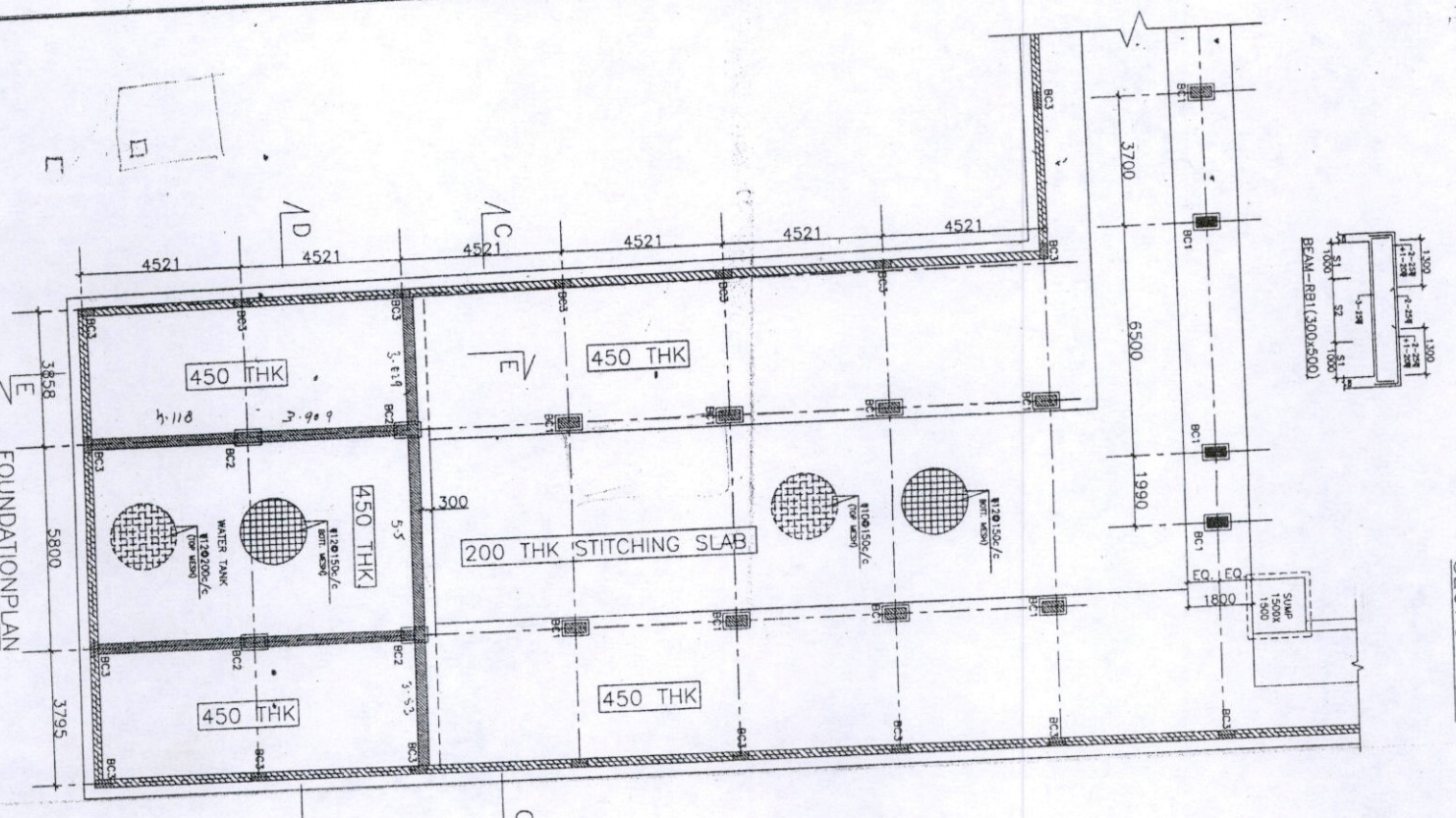
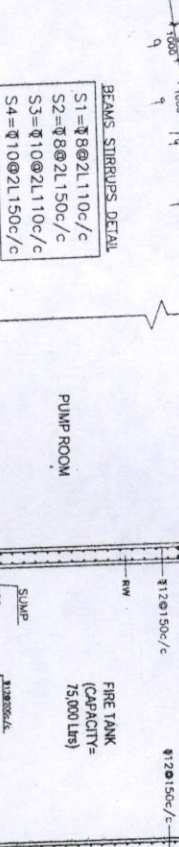
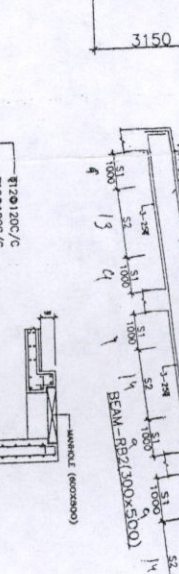
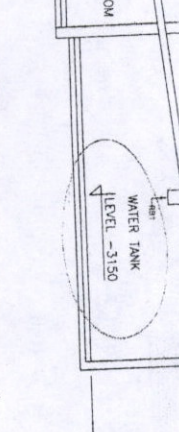
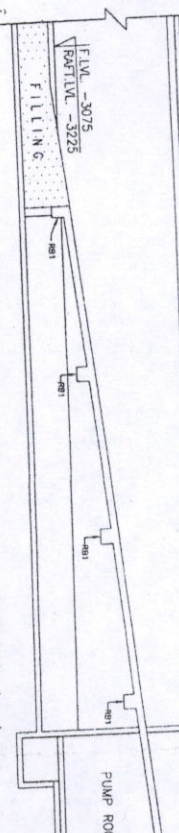
SECTION	DESCRIPTION	REINFORCEMENT
BC1	3u	300x400
BC2	3u	300x400
BC3	6u	300x400
BC4	13	300x400



- NOTES:
1. FOUNDATION AND ALL LIMITS
 2. FOUNDATION SHALL BE AS SHOWN
 3. DO NOT SCALE THE DRAWING FOR DIMENSIONS
 4. ALL DIMENSIONS SHALL BE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED
 5. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE SPECIFIED
 6. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 7. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 8. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 9. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
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 12. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 13. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 14. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 15. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 16. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 17. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 18. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 19. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED
 20. ALL DIMENSIONS SHALL BE TO THE CENTER UNLESS OTHERWISE SPECIFIED

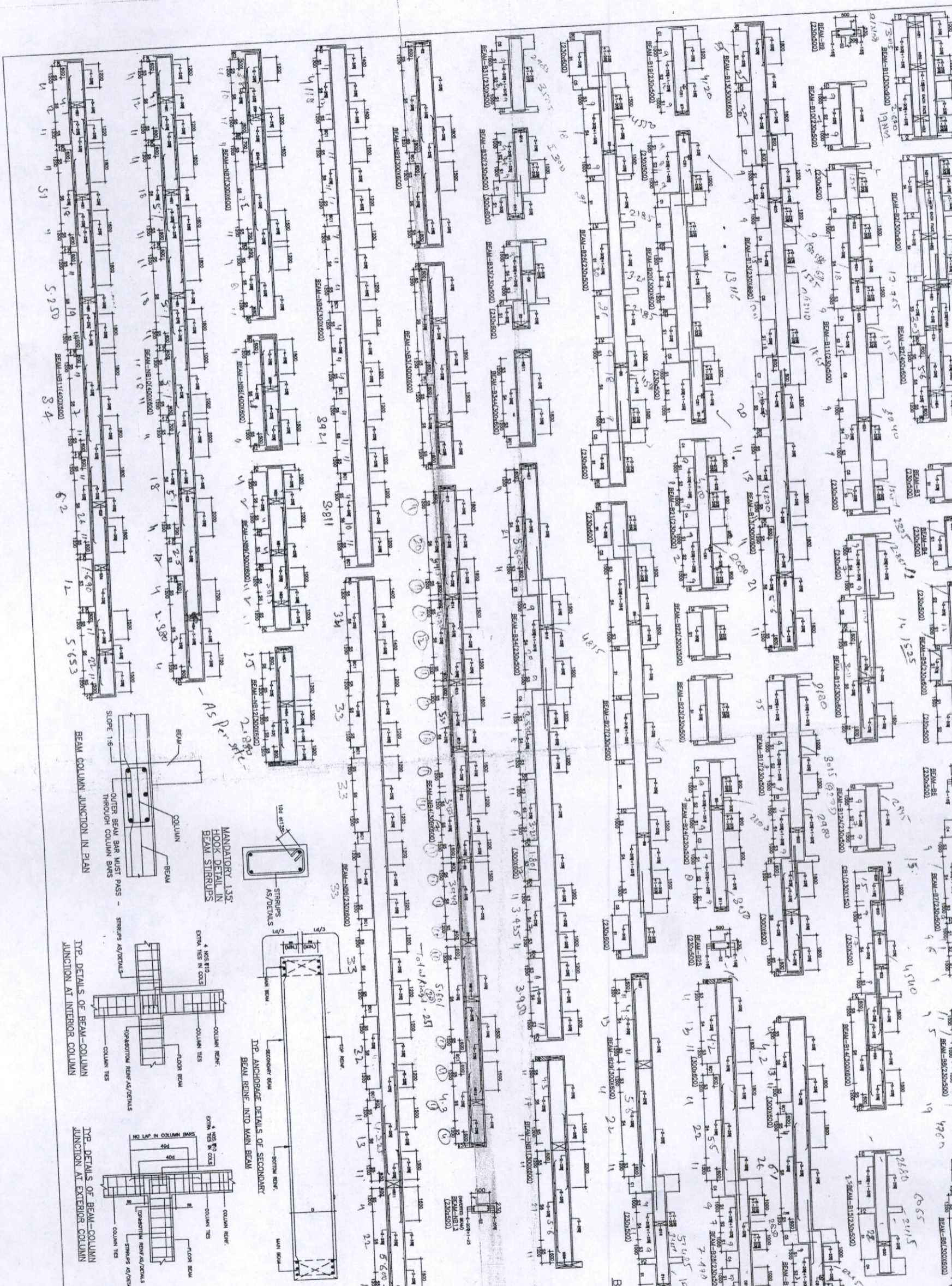
DRAWING TITLE: FOUNDATION PLAN & DETAIL
 PROJECT TITLE: EXOTICA EASTERN COURT
 CLIENT: EXOTICA DEVELOPERS
 ARCHITECT: NAVEN NV
 ENGINEERING: ENGINEERING SOLUTIONS
 DATE: 2013/10/25

For H. R. BUI
 For Exotica Ho
 Directo



PROJECT TITLE	EXOTICA EASTERN COURT HOUSING PROJECT AT CROSSING REPUBLIK
CLIENT	EXOTICA DEVELOPERS
DRG. TITLE	RAMP & WATER TANK DETAILS
CONSULTANTS	ENGINEERING SOLUTIONS CONSULTING ENGINEERS
ARCHITECTS	NAVEEN VU
DESIGNED	P.K.
DRAWN	R.G.
SCALE	N.T.S.
DATE	17.03.11

DRG. NO. ST-17.03.11



- BEAMS STRIPPERS DETAIL
- S1=2L-Ø8@110c/c
 - S2=2L-Ø8@150c/c
 - S3=2L-Ø10@110c/c
 - S4=2L-Ø10@150c/c
 - S5=2L-Ø12@110c/c
 - S6=2L-Ø12@150c/c

PROJECT TITLE
EXOTICA EASTERN HOUSING PROJECT AT CROSS

CLIENT :
EXOTICA DEVELOP

PROJ. TITLE
BASEMENT ROOF BE (PART-2)

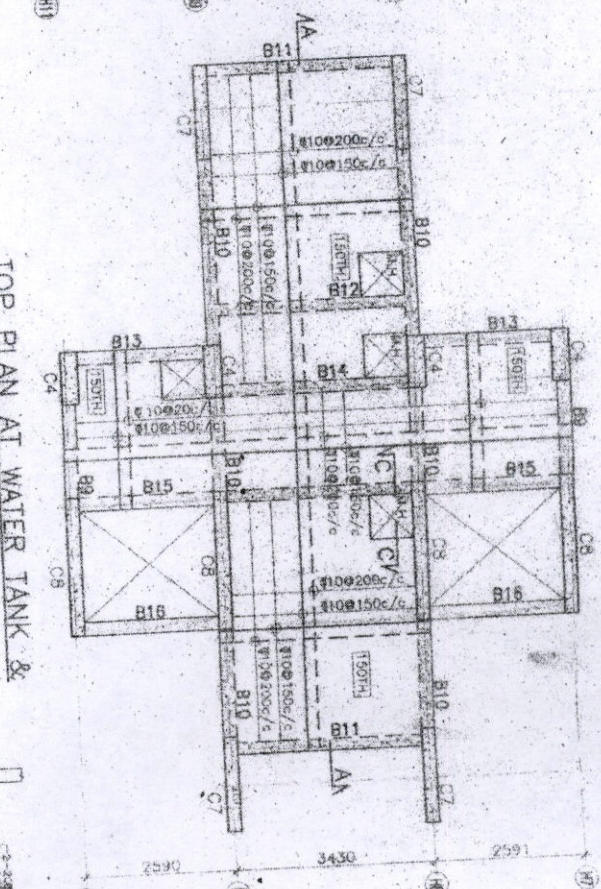
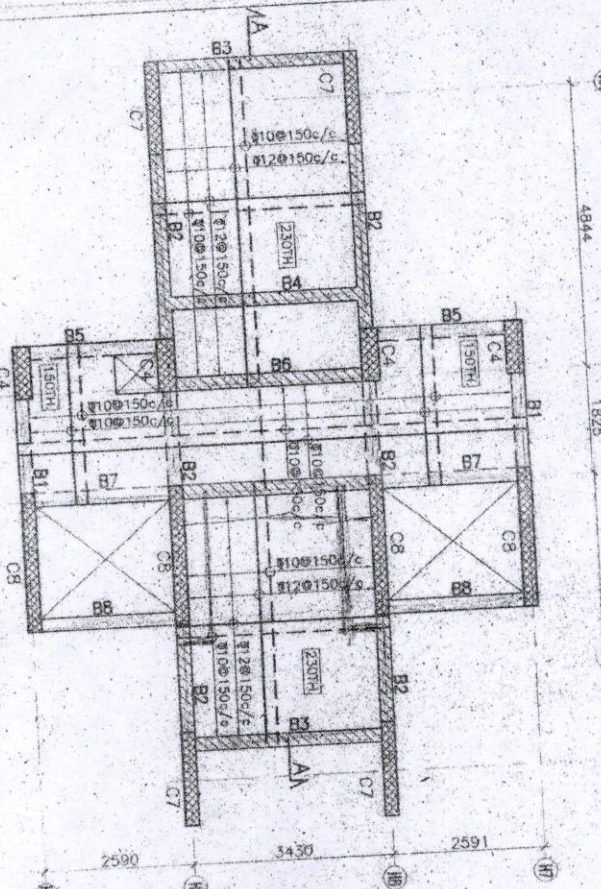
CONSULTANTS
ENGINEERING CONSULTING

ARCHITECTS :
NAVEEN VU

DESIGNED P.K.
CHECKED M.L.
DATE 06.12.10

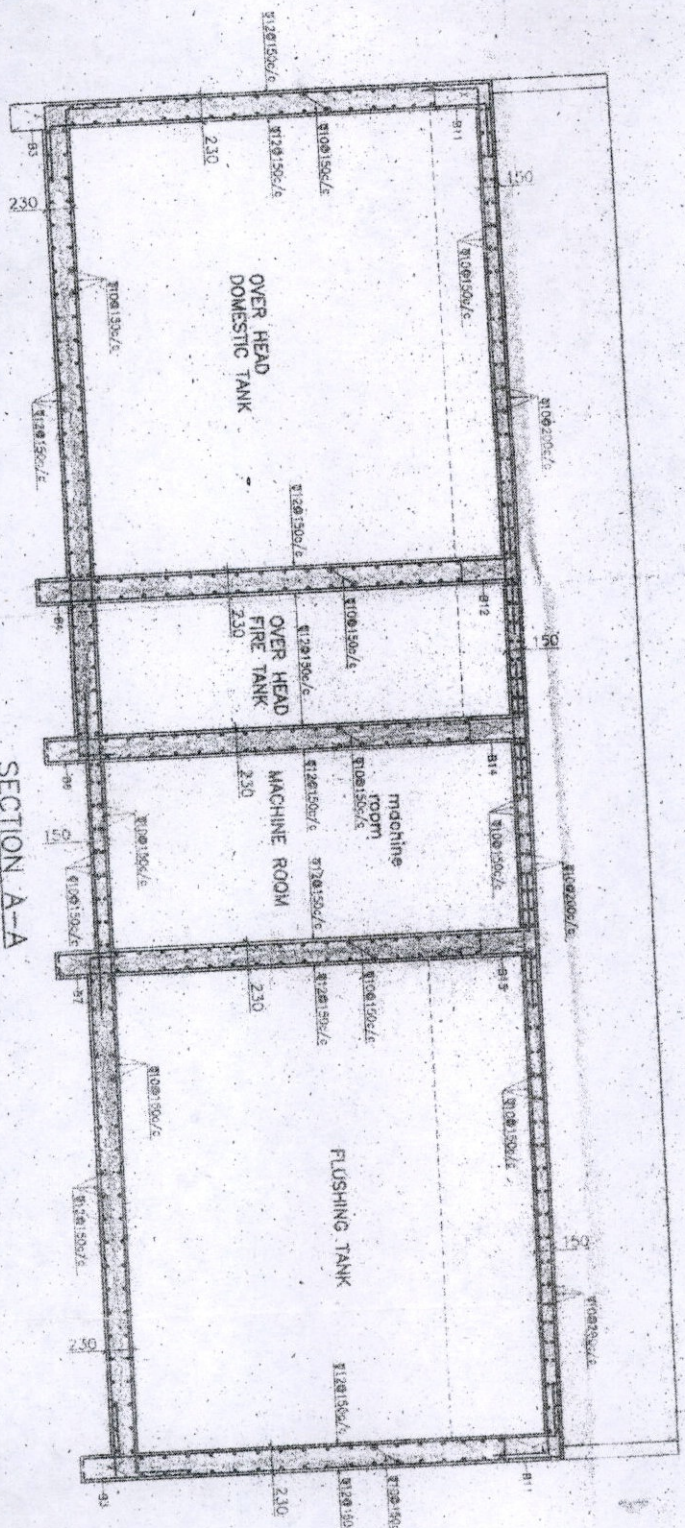
DWG. NO. ST-1

FOR H.R.R.

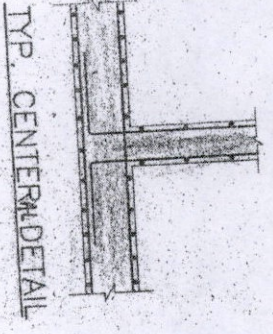


BOTTOM PLAN AT WATER TANK & MACHINE ROOM

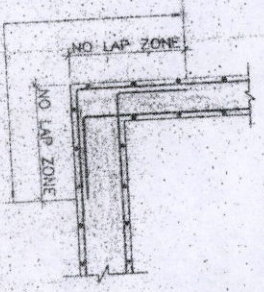
TOP PLAN AT WATER TANK & MACHINE ROOM



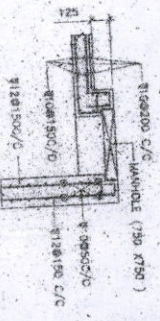
SECTION A-A



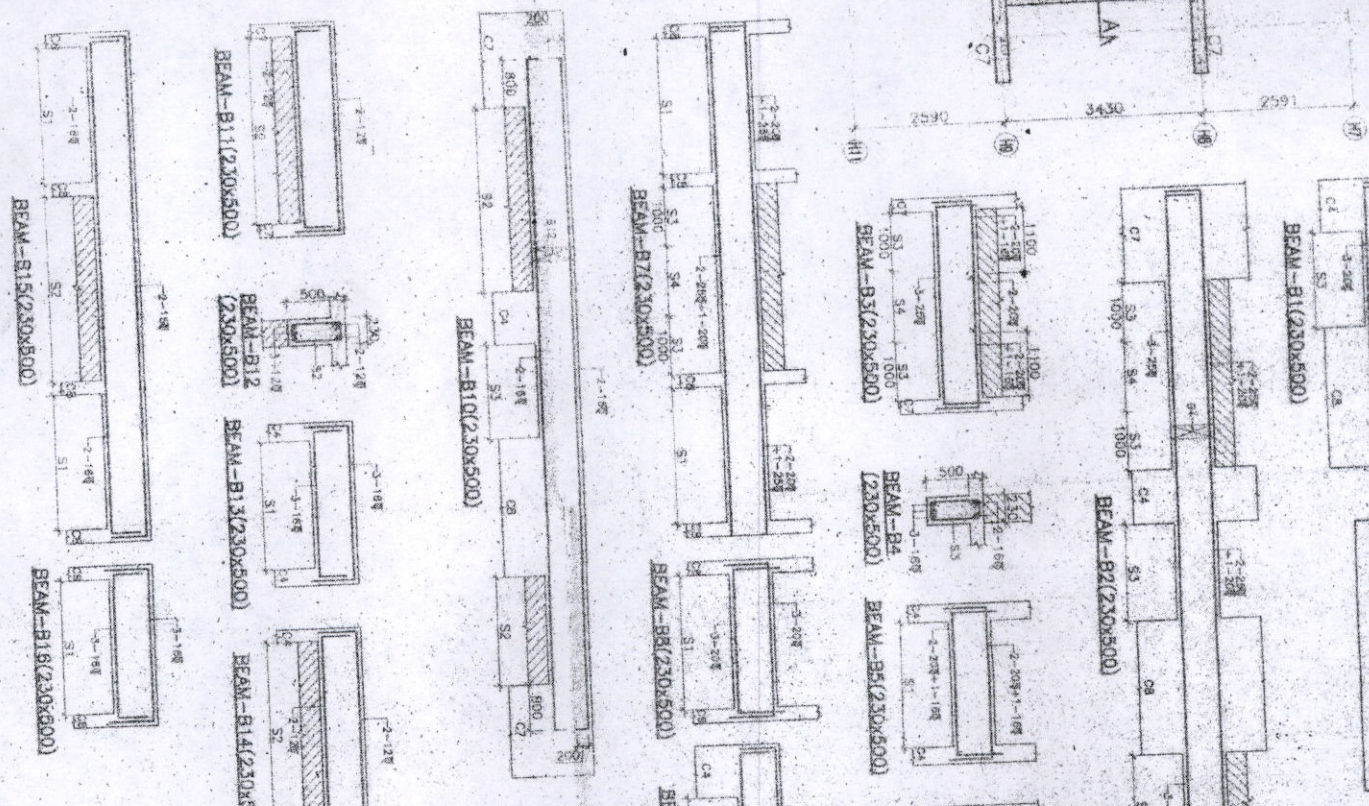
TYP. CENTRAL DETAIL



TYP. CORNER DETAIL



SECTION C-C



NOTES:
 1. FOR GENERAL NOTES REFER TO: SHEET NO. ST-40
 2. ALL REINFORCEMENT SHALL BE PLACED IN POSITION AT THE TIME OF CASTING.
 3. ALL DIMENSIONS ARE IN MILLIMETERS.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

PLANNING DEPT.
 DISPATCHED
 DATE: 09/08/11
 SIGNATURE:
 M. W. M.

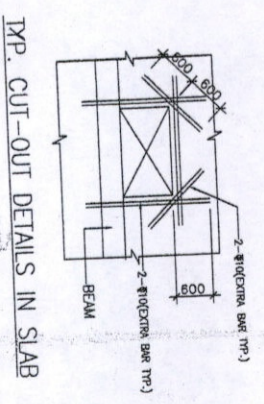
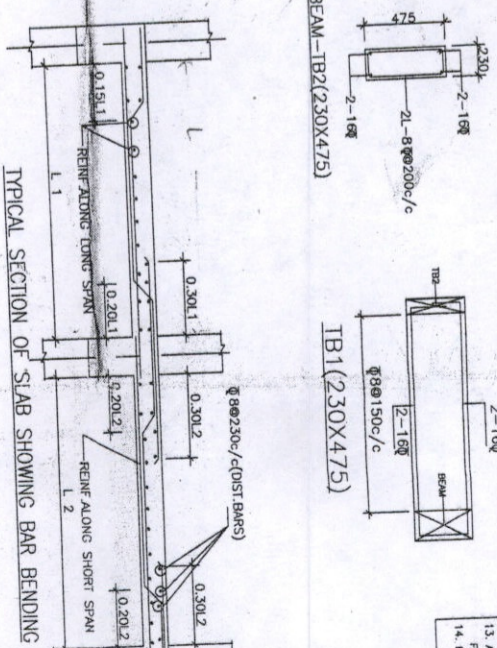
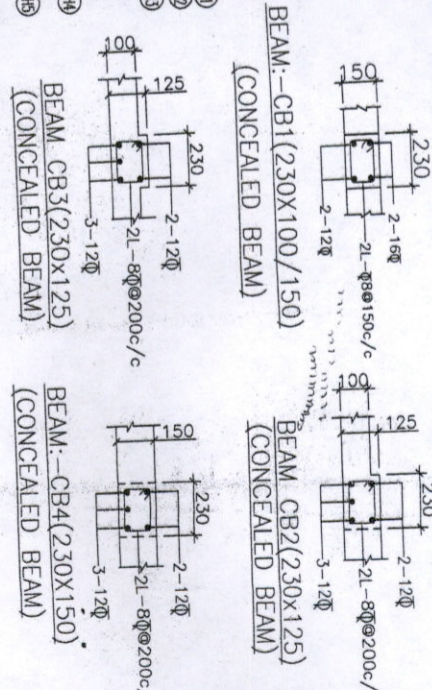
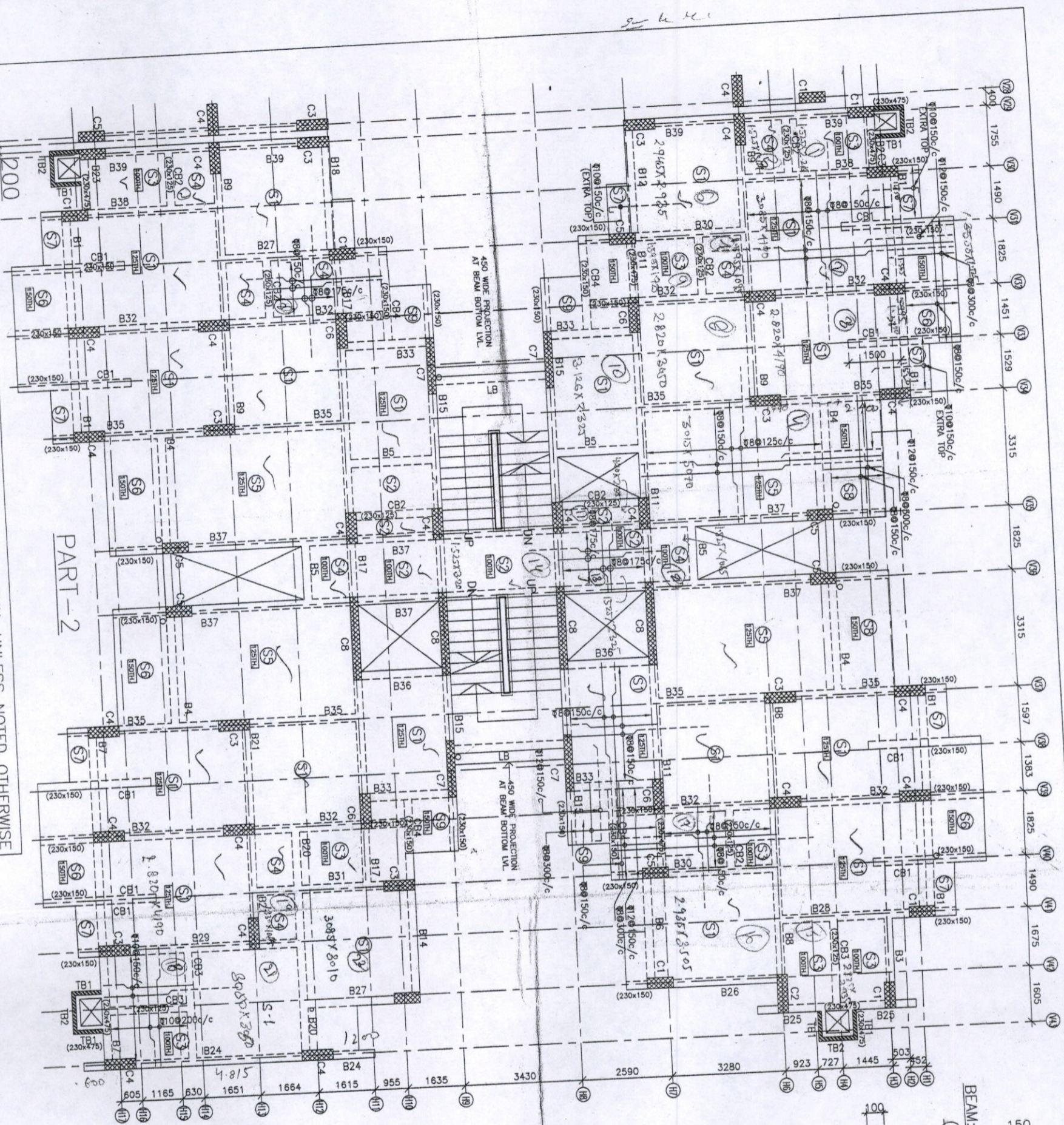
ENGINEER
 EXOTICA EAST
 EXOTICA DEVE
 MACHINERY ROOM
 DETAIL

MAVEN W.
 ENGINEER
 EXOTICA EAST
 EXOTICA DEVE
 MACHINERY ROOM
 DETAIL

EXPANSION JOINT

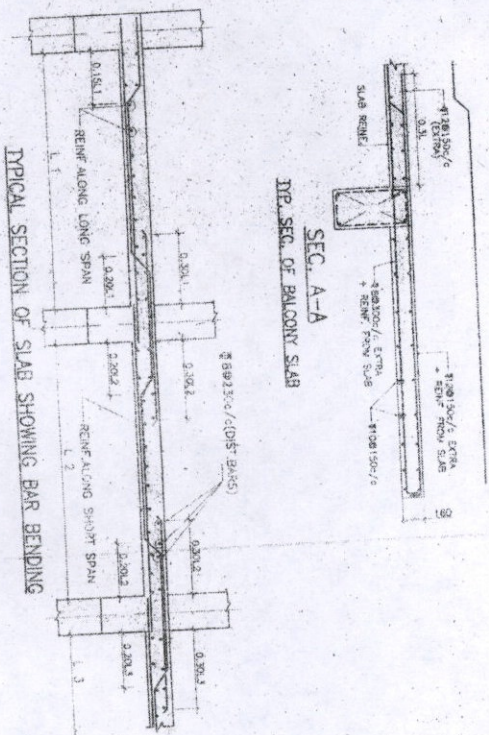
ALL SLABS ARE 125mm THK. UNLESS NOTED OTHERWISE
 ALL BEAMS ARE (230X500) UNLESS NOTED OTHERWISE

PART-2



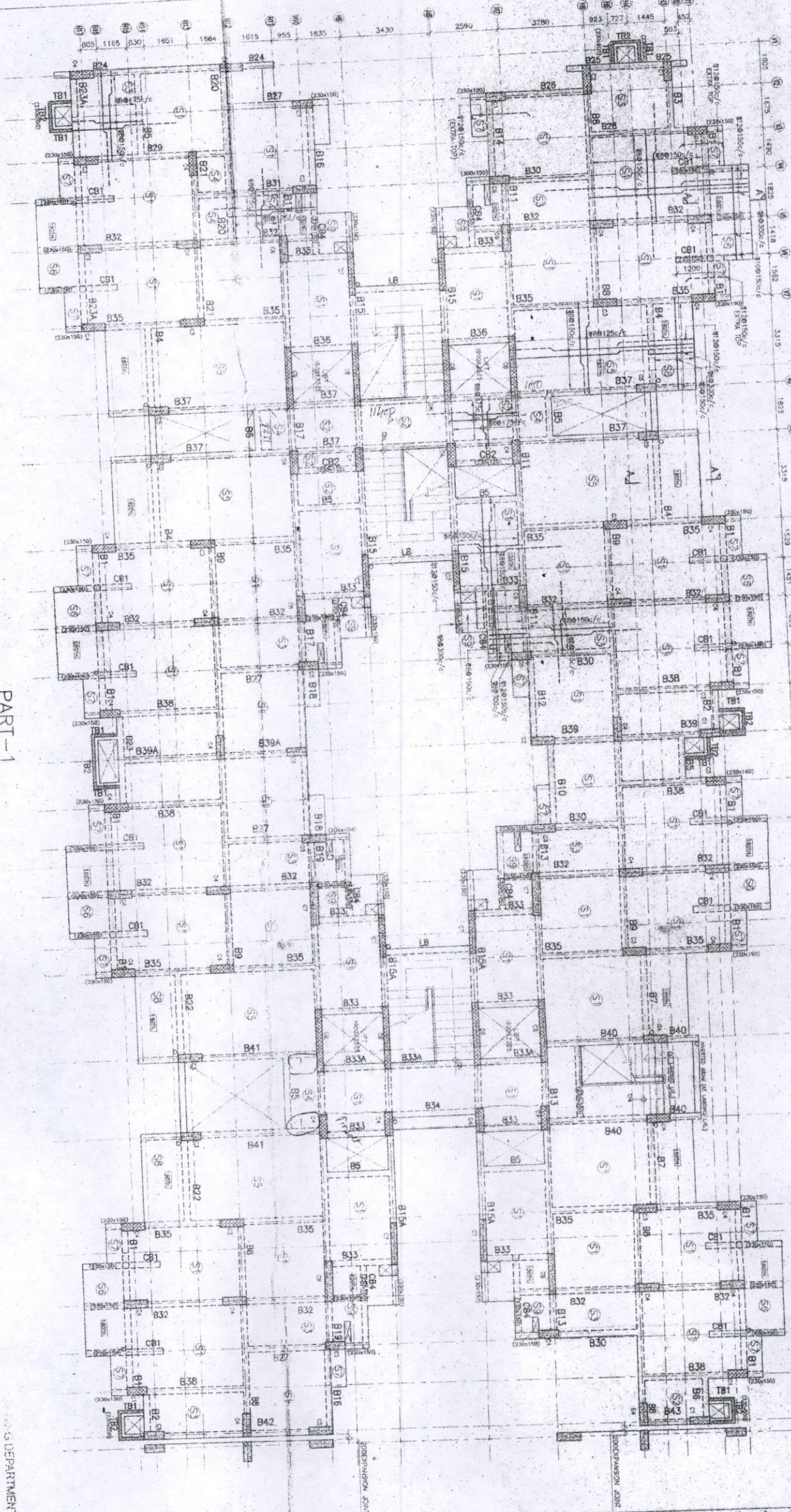
1. FOR GENERAL NOTES REFER TO DRAWING NO. 12/8/29
2. GRADE OF MIX FOR ALL BEAMS IS M25
3. REIN. ALONG SHORT SPAN
4. BOTTOM LAYER OF SLABS
5. DISTRIBUTION STEEL SHALL BE PROVIDED AS/NOTH. WHEREVER REQD. BUT NOT FOR DIFFERENT THICKNESS SLABS. TOP OF SLABS SHALL BE CLEAR COVER TO ALL REIN. AS FOLLOWS--
6. (i) SLABS--
7. (ii) END COVER--25 (IN SLABS)
8. (iii) 125 EXTRA BARS SHALL BE PROVIDED AT BOTTOM REST ON SLABS DIRECTLY REST ON SLABS
9. LAYS SHALL BE 40D AND FOLLOWING LOCATION IN BEAM
10. TOP BARS 0.30L FROM FACE OF BEAM
11. BOTTOM BARS SHOWN IN BEAM
12. DIMENSIONS OF BALCONY BE PROVIDED AS/NOTH.
13. ALL BALCONY/TOILET SLABS FROM GENERAL SCALE LEVEL
14. FOR BEAMS DETAIL REF. DRG. NO. 12/8/29

PROJECT TITLE	EXOTICA EAST EXOTICA EAST HOUSING PROJECT /
CLIENT	
DRG. TITLE	TYPICAL R.O.C.
CONSULTANTS	ENGIN CONN
DESIGNED	NAVEEN VJ
CHECKED	
DATE	10.01.11

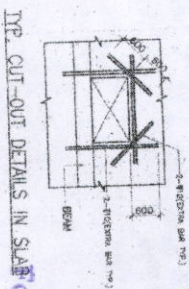
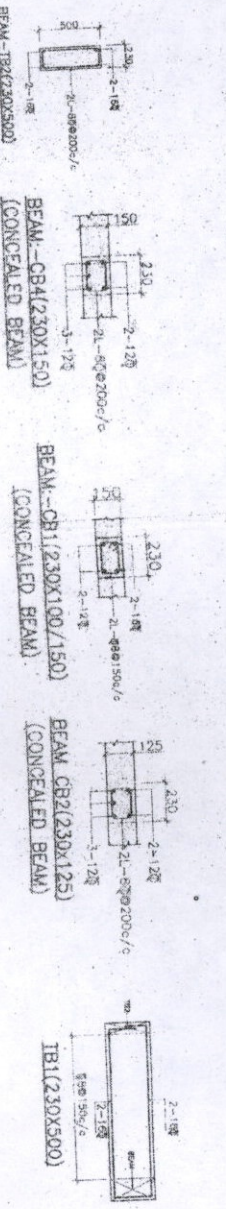


ALL SLABS ARE 125mm THK. UNLESS NOTED OTHERWISE
 ALL BEAMS ARE (230X500) UNLESS NOTED OTHERWISE

PART-1



COLUMN SHOWN THIS SHALL BE TAKEN ABOVE TERRACE LEVEL FOR MACHINE ROOM, WATER TANK & ELEVATION FEATURE.
 COLUMN UP TO TERRACE LVL. WERGED IN THE BEAM.



DATE: 23.6.11
 SIGNATURE: *[Signature]*

1. REIN. ALONG LONG SPAN
2. BOTTOM LAYER OF DISTRIBUTION STEEL
3. WHEREVER REIN. IS FOR DIFFERENT SLABS, TOP OF SLAB CLEAR COVER TO AS FOLLOWS:-
4. i) END COVER-25
5. ii) 12 & EXTRA. 1. BOTTOM BELOW 1. DIRECTLY REST OF LAYS SHALL BE 4. FOLLOWING LOCAL
6. 1) TOP BARS 0.3
7. 1) BOTTOM BARS
8. TOP BARS SHOW
9. BOTTOM BARS
10. SUNK SLAB SH
11. DIMENSIONS OF
12. BE PROVIDED
13. ALL BALCONY/T
14. FROM GENERAL S
15. FOR BEAMS DELTA

PROJECT TITLE: EXOTICA HOUSING PROJ

CLIENT: EXOTICA TERRACE

CONSULTANTS: [Logo]

ARCHITECTS: NAVREEN

DESIGNER: [Signature]

DATE: 23.6.11

SCALE: [Blank]

DRAWN: [Blank]

MANDATORY 1.35
HOOK DETAIL IN
BEAM STRIPS

DETAILS OF
SECTION

DETAILS OF
SECTION

DETAILS OF
SECTION

DETAILS OF
SECTION



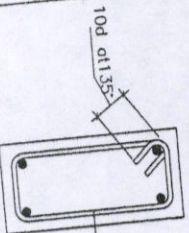
BEAMS STRIPPERS DETAIL

S1=2L-Ø8@110c/c
S2=2L-Ø8@150c/c
S3=2L-Ø10@110c/c
S4=2L-Ø10@150c/c

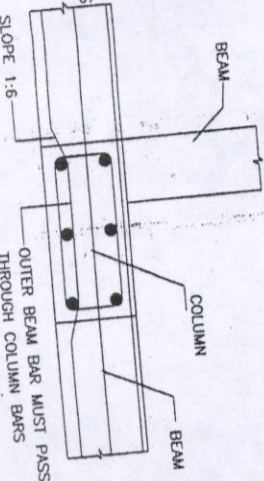
PLANNING DEPARTMENT
DATE 23.6.11
SIGNATURE *Bluy*

CLIENT	PROJECT	DATE
EXC		
DRG. TITL	TERF	
DESIGN		
CHECK		
DATE		

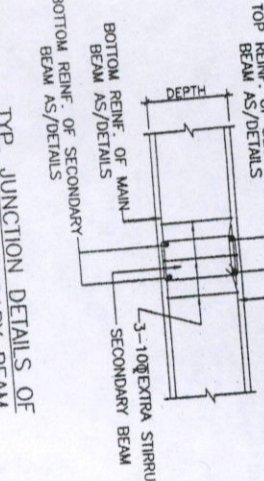
MANDATORY 135.
HOOK DETAIL IN
BEAM STIRRUPS



BEAM COLUMN JUNCTION IN PLAN

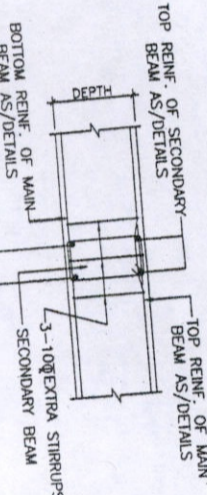


BEAM COLUMN JUNCTION IN PLAN

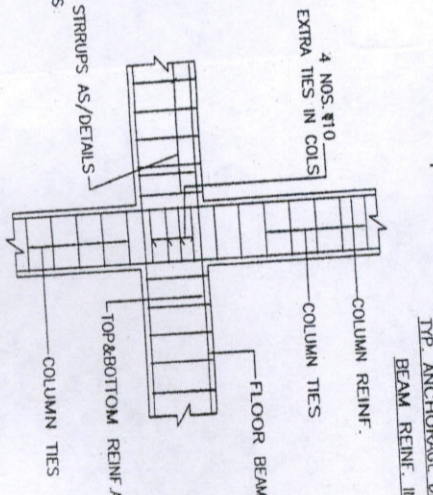


- BEAMS STIRRUPS DETAIL**
- S1 = 2L- Φ 8@110c/c
 - S2 = 2L- Φ 8@150c/c
 - S3 = 2L- Φ 10@110c/c
 - S4 = 2L- Φ 10@150c/c
 - S5 = 2L- Φ 12@150c/c
 - S6 = 2L- Φ 12@200c/c

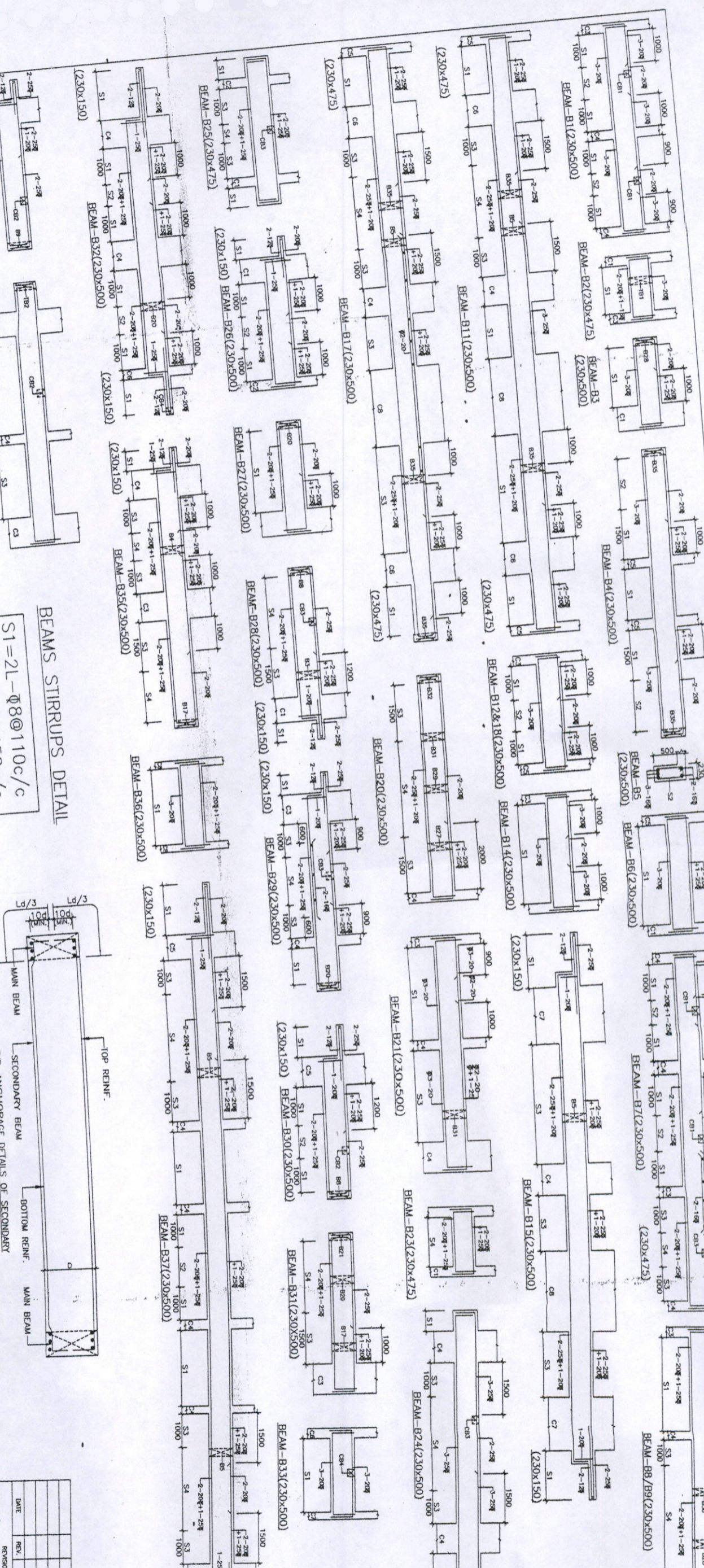
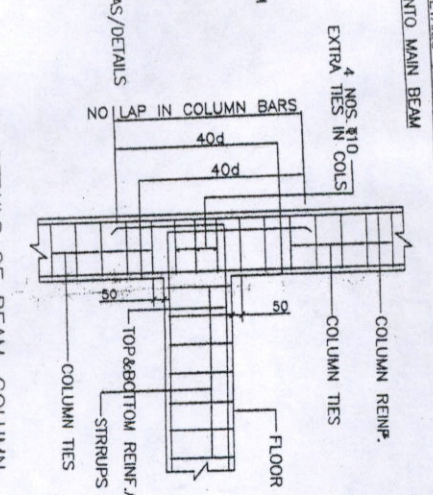
TYP. JUNCTION DETAILS OF
MAIN & SECONDARY BEAM



TYP. DETAILS OF BEAM-COLUMN
JUNCTION AT INTERIOR COLUMN

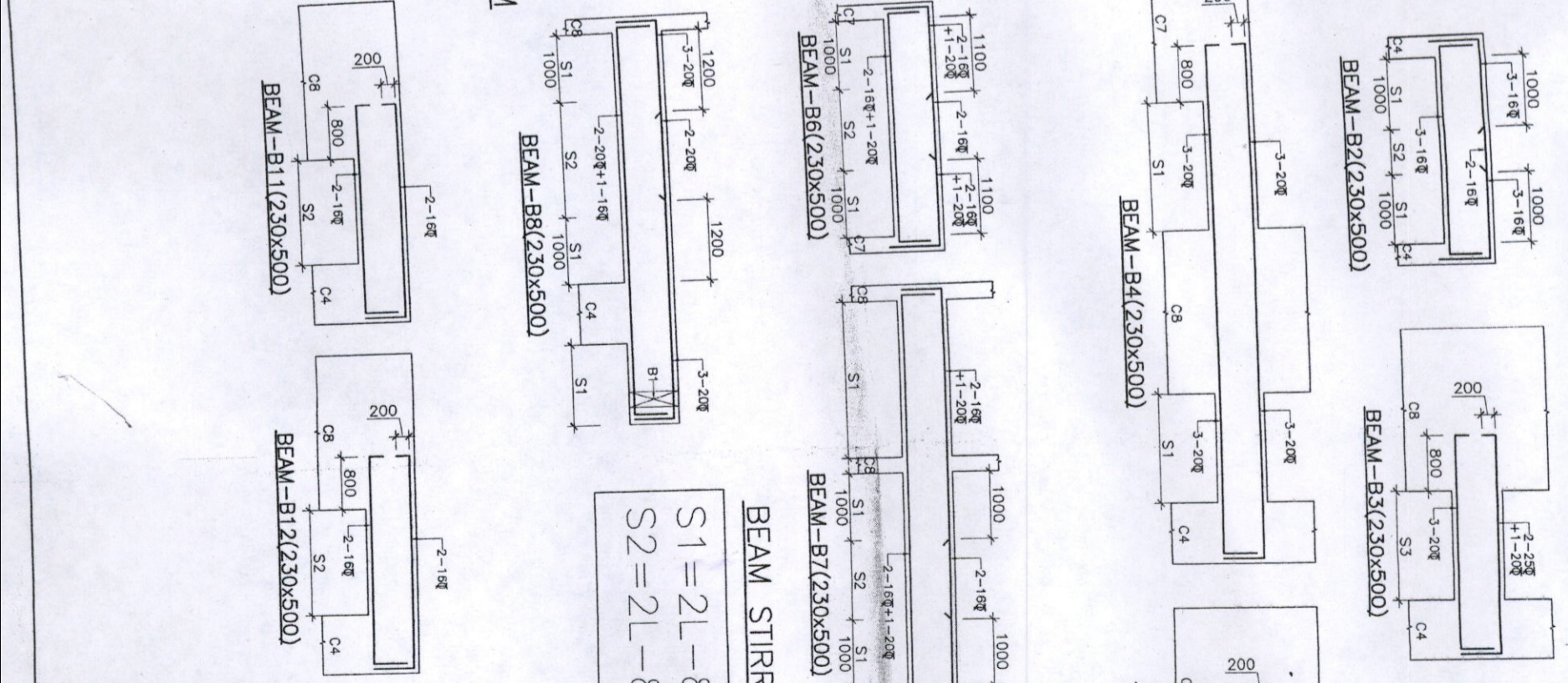
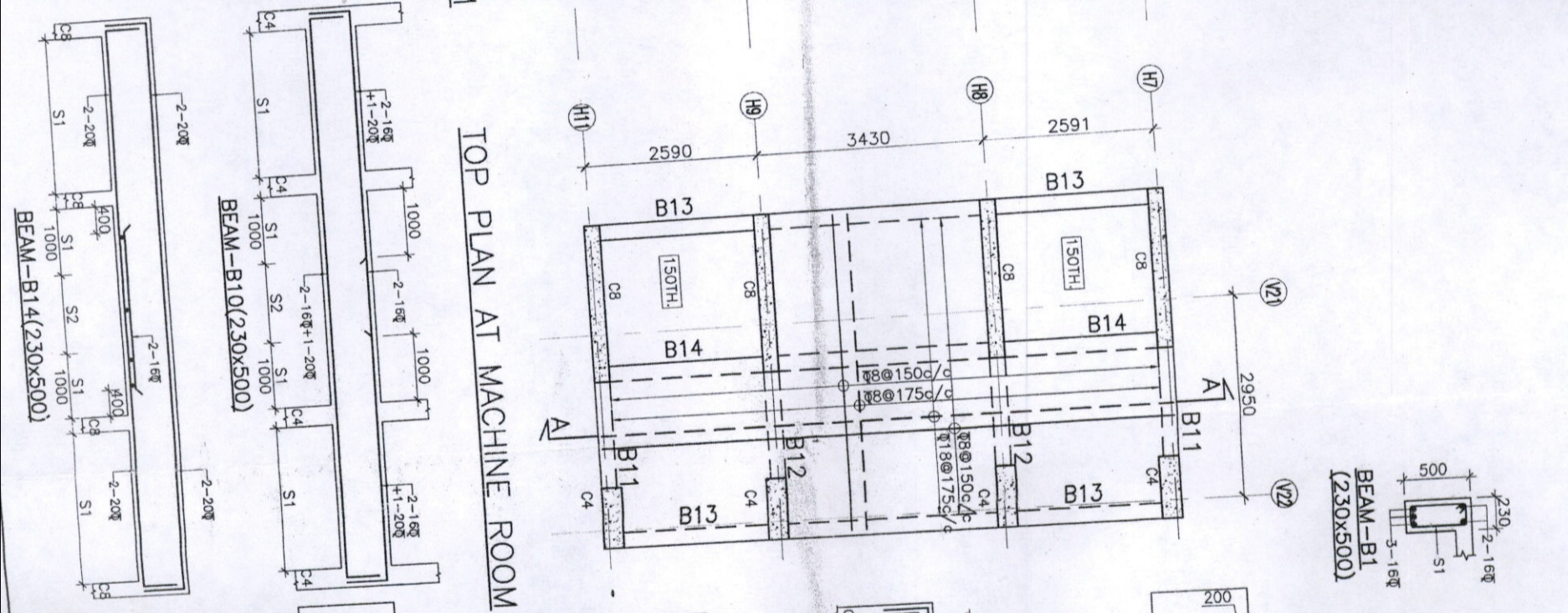
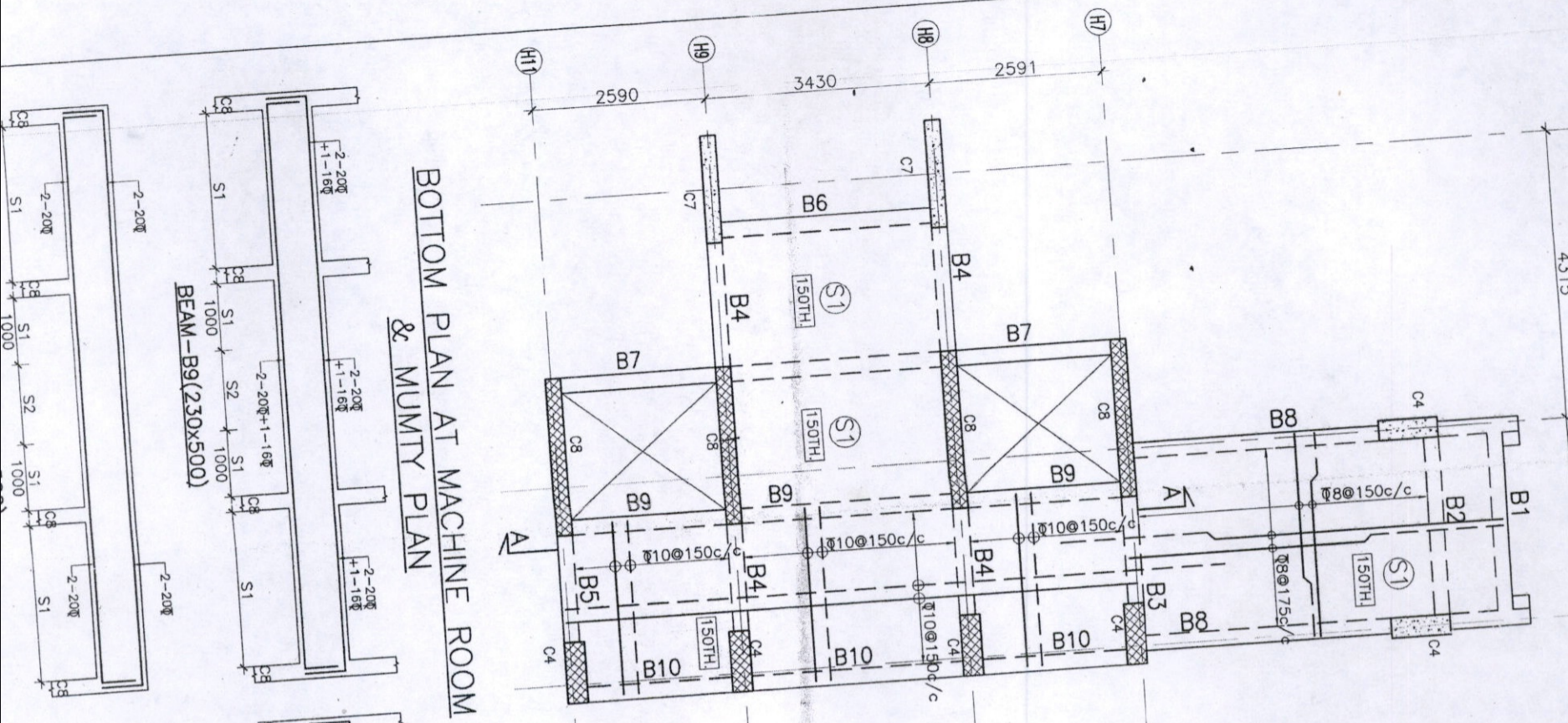


TYP. DETAILS OF BEAM-COLUMN
JUNCTION AT EXTERIOR COLUMN



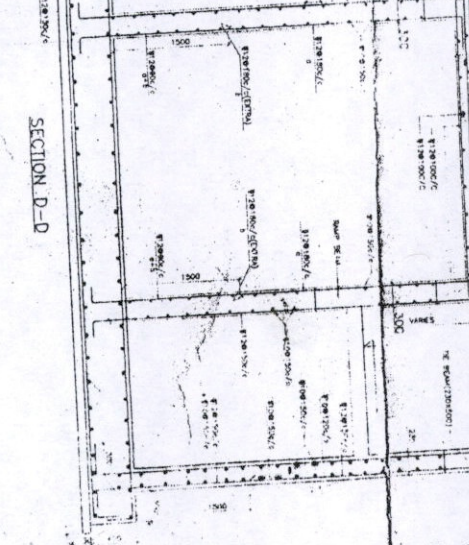
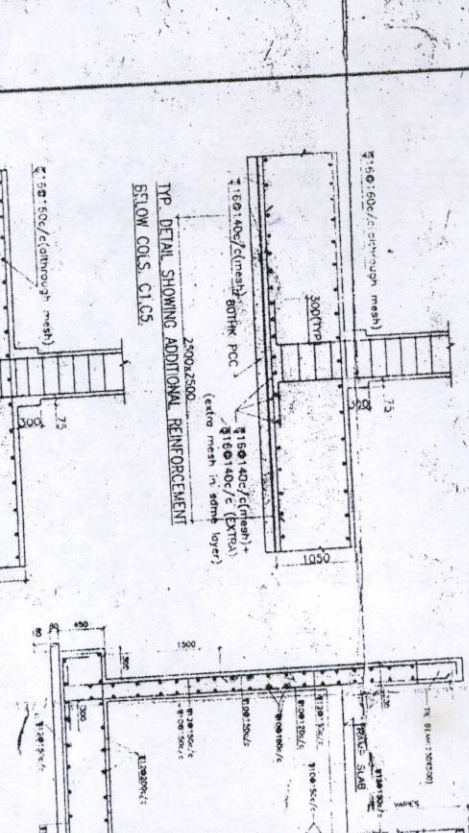
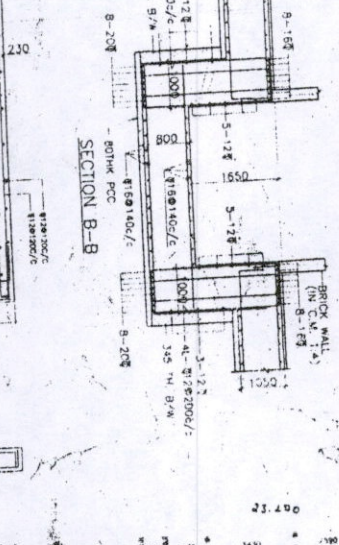
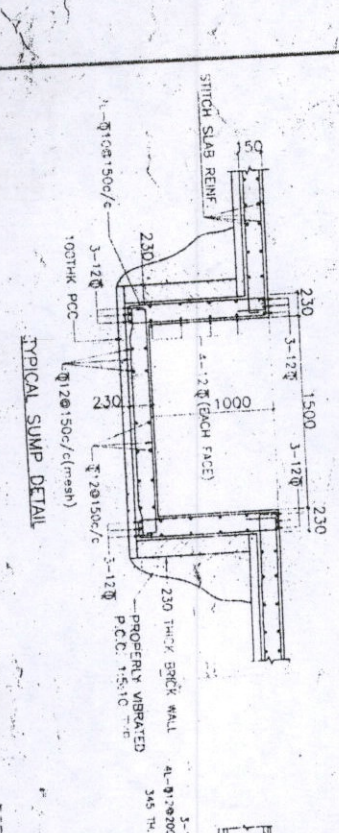
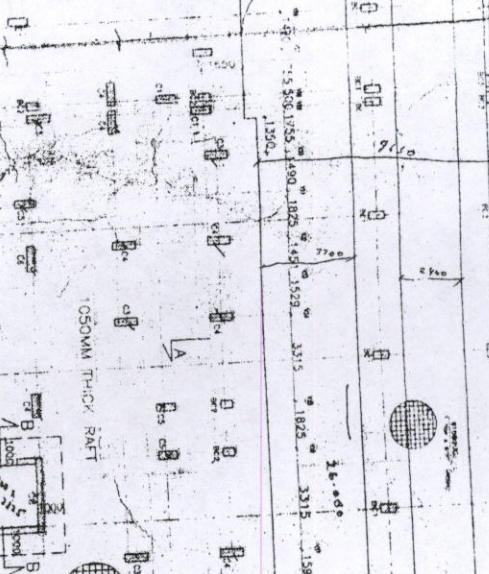
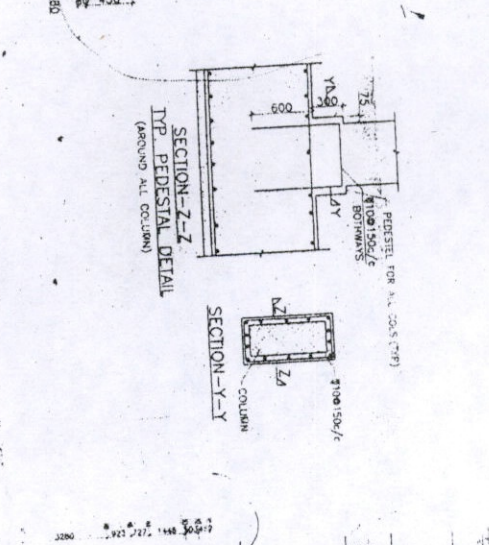
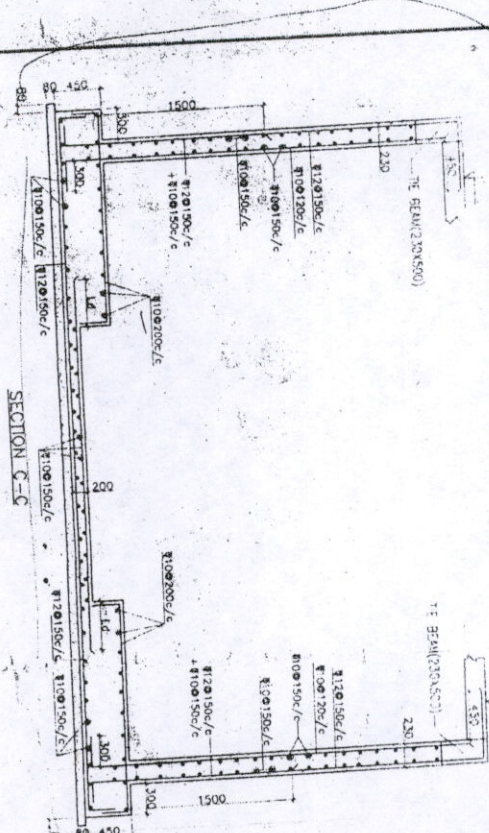
DATE	REV.	REVISIONS
PROJECT	EXOTICA DEVE	HOUSING PROJECT AT
CLIENT	EXOTICA DEVE	
DRG. TITLE	TYPICAL ROOF	UP TO 6T
CONSULTANTS	ENGINEER	NAVEEN VJ
DESIGNED	SCALE	DATE
DRAWN	M.T.S.	12.01.11





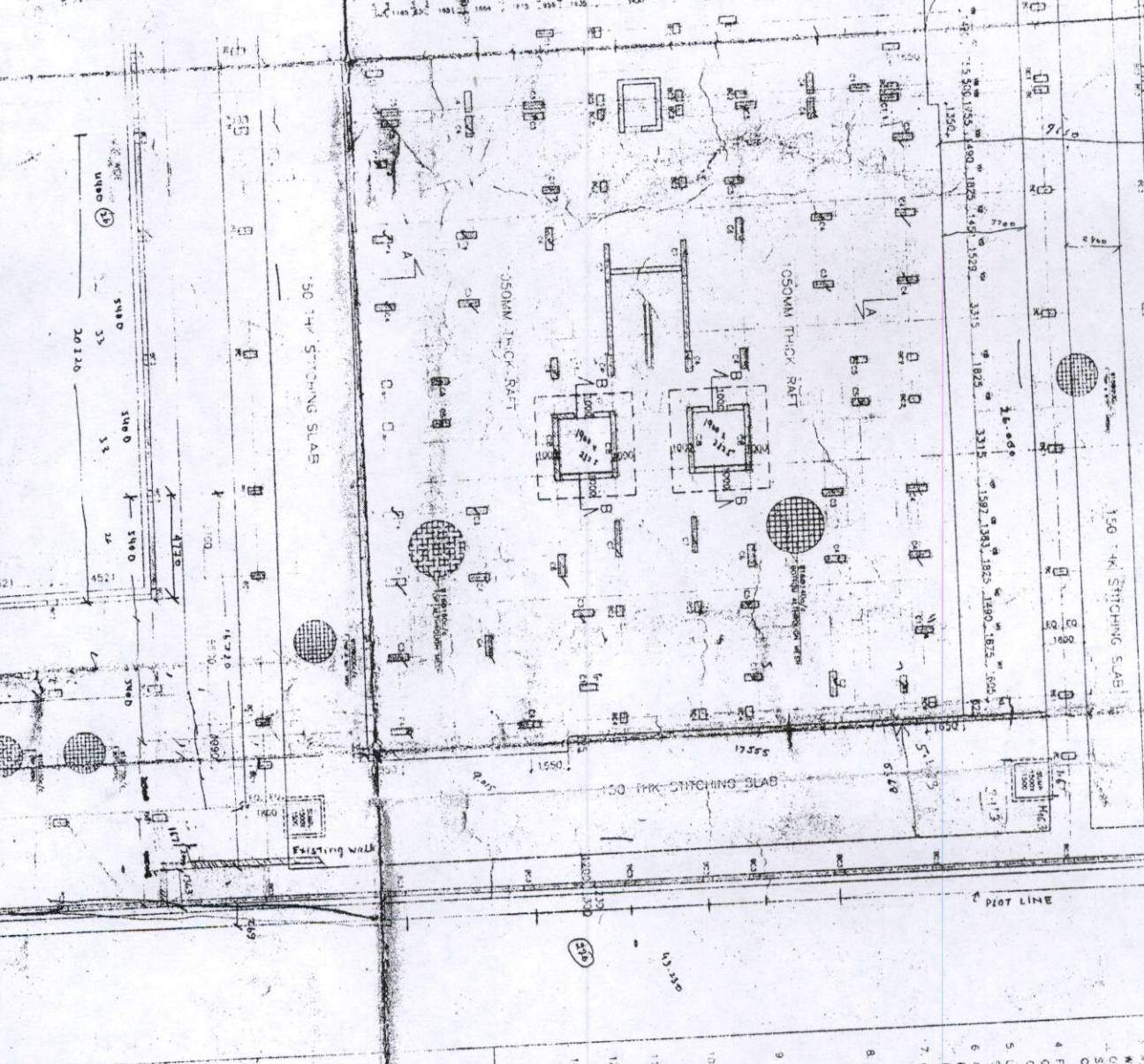
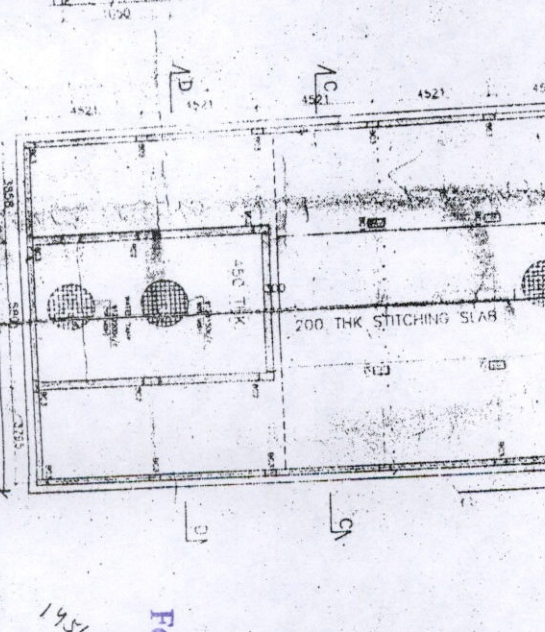
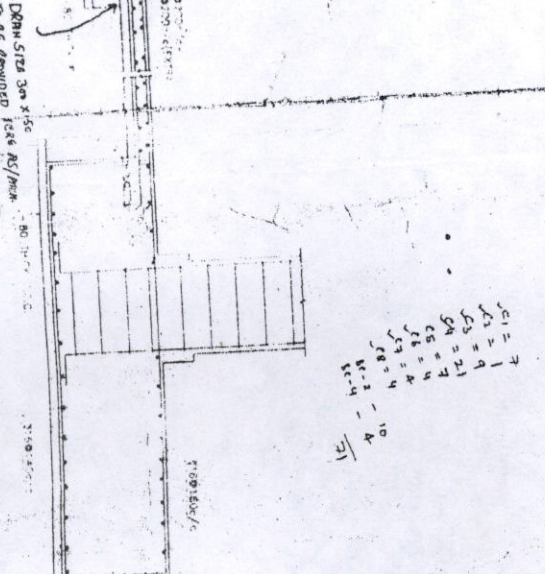
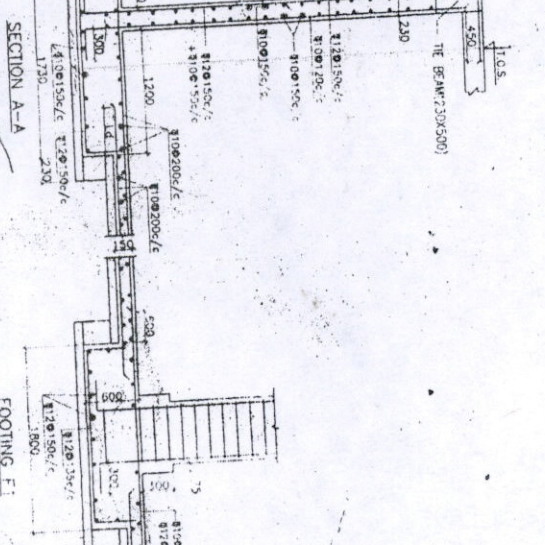
- OTHER SIZE = 20 mm
- MIX OF CONC. SHALL BE M 25
- WATER TANK AND U20) FOR RE
- BEAMS AND SLABS
- TOP BARS SHOWN THIS
- BOTTOM BARS SHOWN THIS
- PROPER DEVELOPMENT LENGTH (L_d)
- BE PROVIDED IN BEAM SHOWN IN
- ALL DIM ARE IN ARCH DRG.
- MACHINE ROOM FLOOR SLAB & SLAB SHALL BE CAST AFTER DBS FROM LEFT SUPPLINE COMPANY.

PROJECT TITLE	EXOTICA EASTERN HOUSING PROJECT AT GR
CLIENT	EXOTICA DEVELOP
DRG. TITLE	MACHINE ROOM & DETAIL PART
CONSULTANTS	ENGINEERING CONSULTANTS
ARCHITECTS	NAVEEN VJ
DESIGNED	P.K.
DRAWN	L.A.S.
SCALE	N.T.S.
DATE	08.08.11



COLUMNS DETAIL (NON-TOWER AREA)

Column	Reinforcement	Notes
BC1	300x450 M30	4-20E, 4-20W
BC2	300x450 M30	4-20E, 4-20W
BC3	300x450 M30	4-20E, 4-20W
BC4	300x450 M30	4-20E, 4-20W



FOOTING

FOR PAVEMENT

PART-2

EXOTICA

CLIENT

PROJECT TITLE

HOUSING

DATE

SCALE

DATE

CONSULTANT

DESIGNER

SCALE

DATE

FOOTING

FOR PAVEMENT

PART-2

EXOTICA

CLIENT

PROJECT TITLE

HOUSING

DATE

SCALE

DATE

CONSULTANT

DESIGNER

SCALE

DATE

FOOTING

FOR PAVEMENT

PART-2

EXOTICA

CLIENT

PROJECT TITLE

HOUSING

DATE

SCALE

DATE

CONSULTANT

DESIGNER

SCALE

DATE